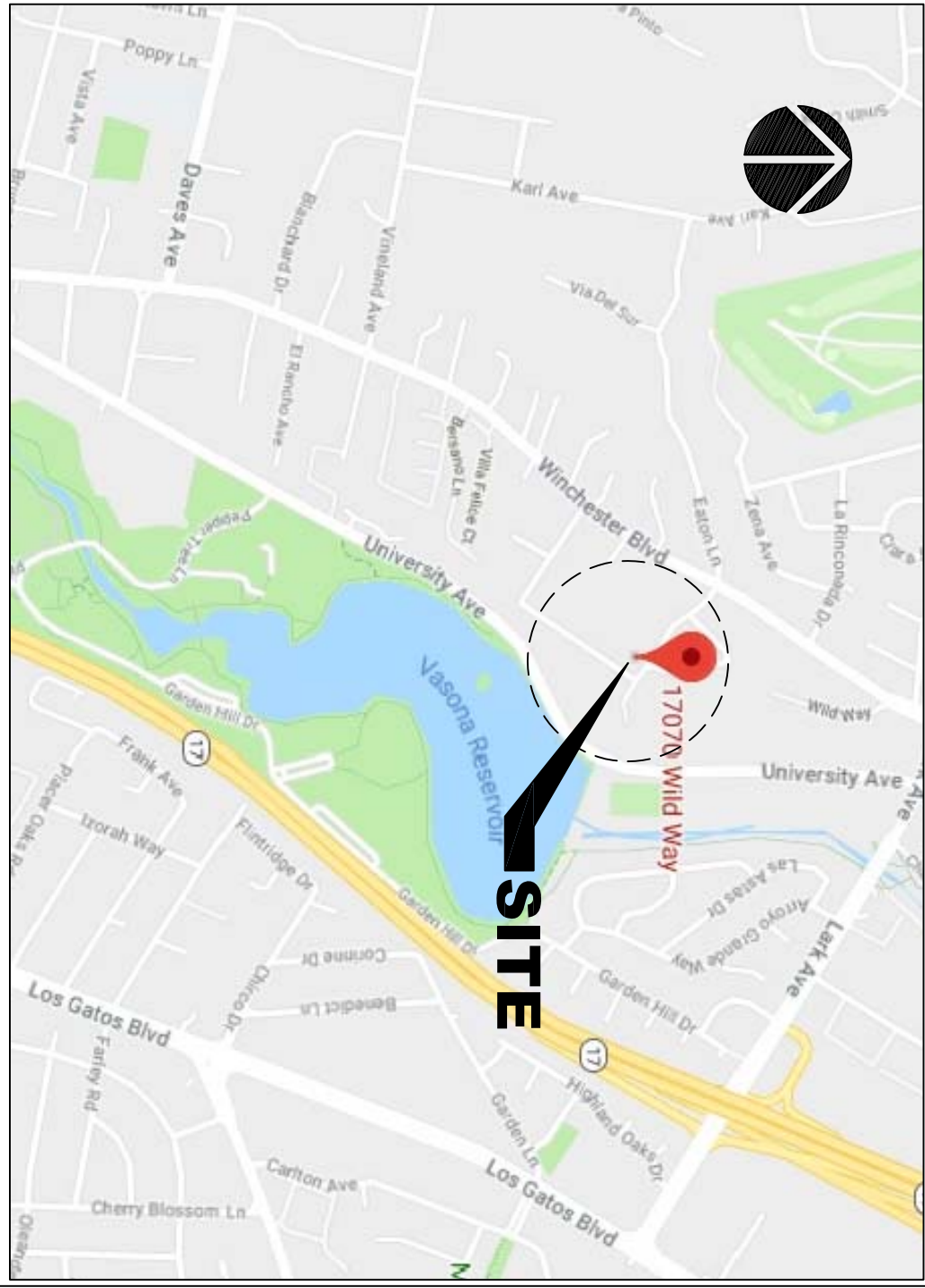


VICINITY MAP

NOT TO SCALE



PROJECT DESCRIPTION

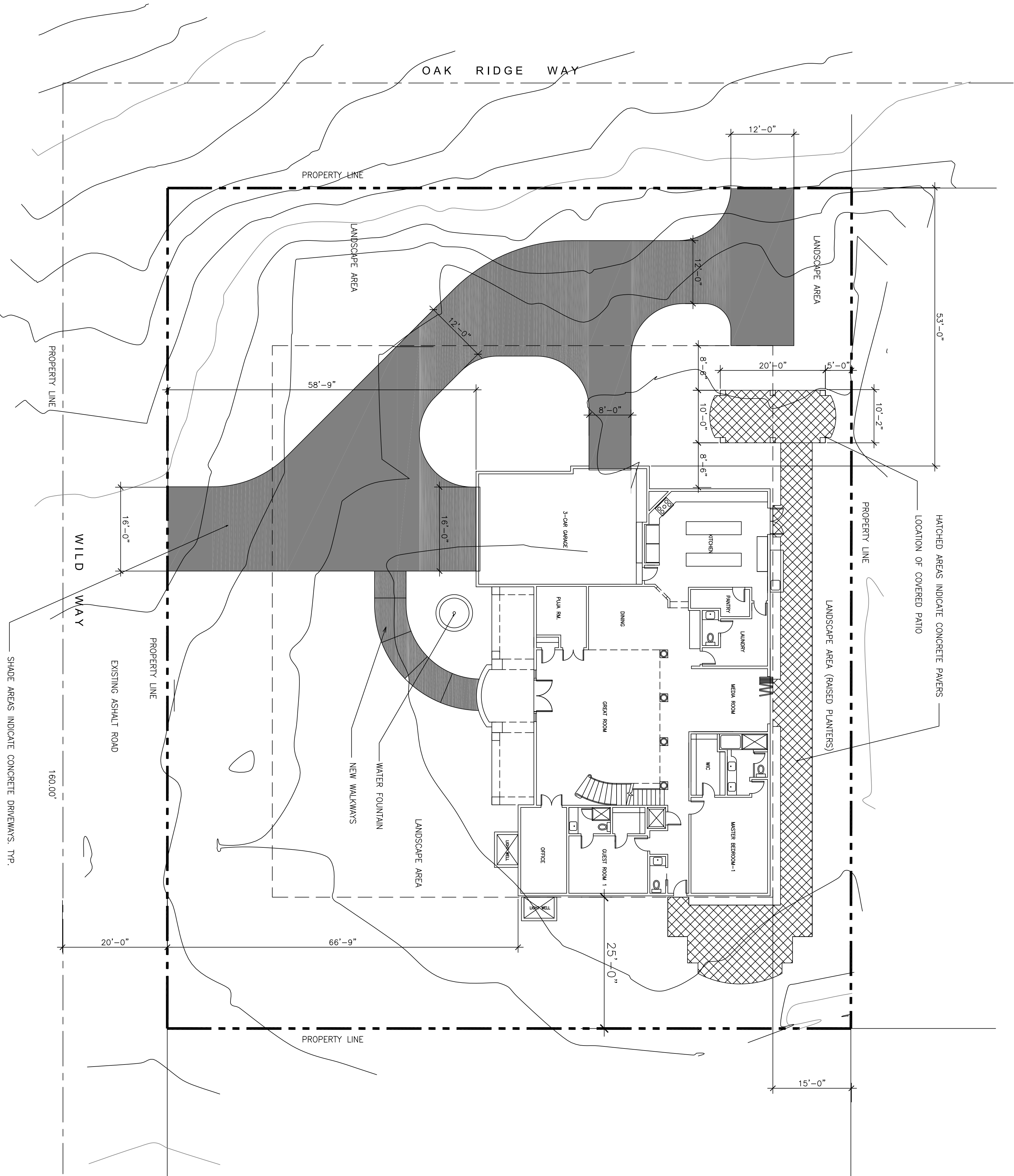
NEW TWO STORY RESIDENCE WITH 3-CAR GARAGE & BASEMENT.

PROJECT DATA

APN	424-30-025
LOT AREA	20,824 S.F.
ZONING	R-1:20
FLOOR AREAS:	
FIRST FLOOR AREA (EXCLUDING GARAGE)	- 3,228 S.F.
SECOND FLOOR AREA	- 1,430 S.F.
TOTAL FLOOR AREA	- 4,658 S.F.
BASEMENT FLOOR AREA	- 1,340 S.F.
GARAGE AREA	- 700 S.F.
FLOOR AREA RATIO	4,656 S.F. / 20,824 = 22.3 %
NUMBER OF STORY:	TWO
AUTOMATIC FIRE SPRINKLER SYSTEM:	YES
A/RARGE SITE SLOPE	5%
RETAINING WALLS WALLS AT NEW BASEMENT	

SHEET INDEX

SITE PLAN, VICINITY MAP, PROJECT DATA	A-0
EXISTING FLOOR PLANS	A-1.1
EXISTING FLOOR PLANS	A-1.2
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SECOND FLOOR PLAN	A-3
SECOND FLOOR ROOF PLAN	A-3A
BASEMENT PLAN	A-4
ELEVATIONS	A-5
ELEVATIONS	A-6
BUILDING SECTIONS	A-7
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TITLE SHEET	C-1
DEMOLITION PLAN	C-2
GRADING AND DRAINAGE PLAN	C-3
DRIVEWAY PROFILE AND BUILDING SECTIONS	C-4
EROSION CONTROL. PLAN	C-5
EROSION CONTROL. DETAILS	C-6
CONSTRUCTION MANAGEMENT PLAN	C-7
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GREEN BUILDING CHECKLIST	GB-1



SITE PLAN

SCALE : 3/32" = 1'-0"



NEW TWO STORY RESIDENCE

17070 WILD WAY, LOS GATOS, CA.

MR. BALA RANGABASHYAM

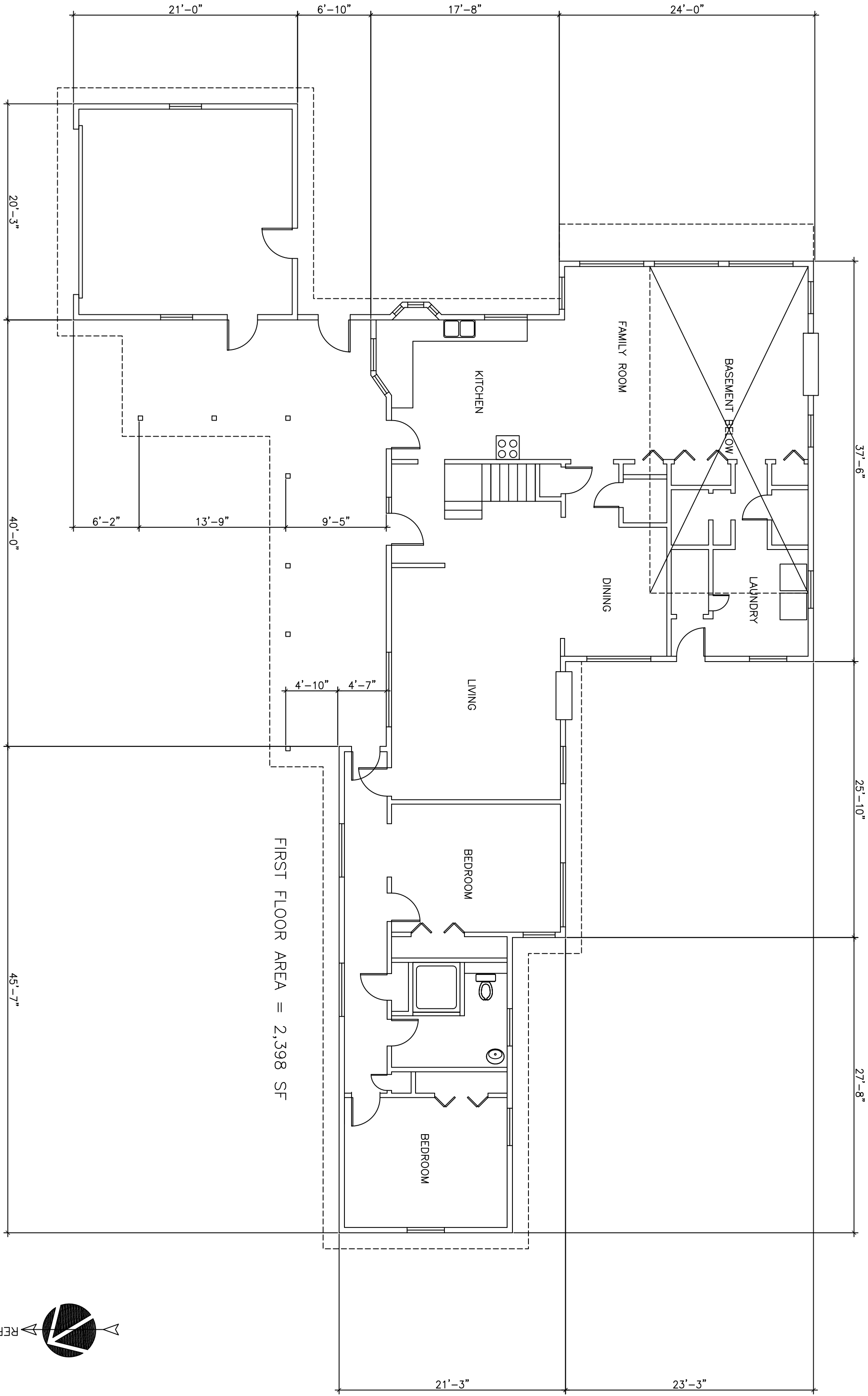
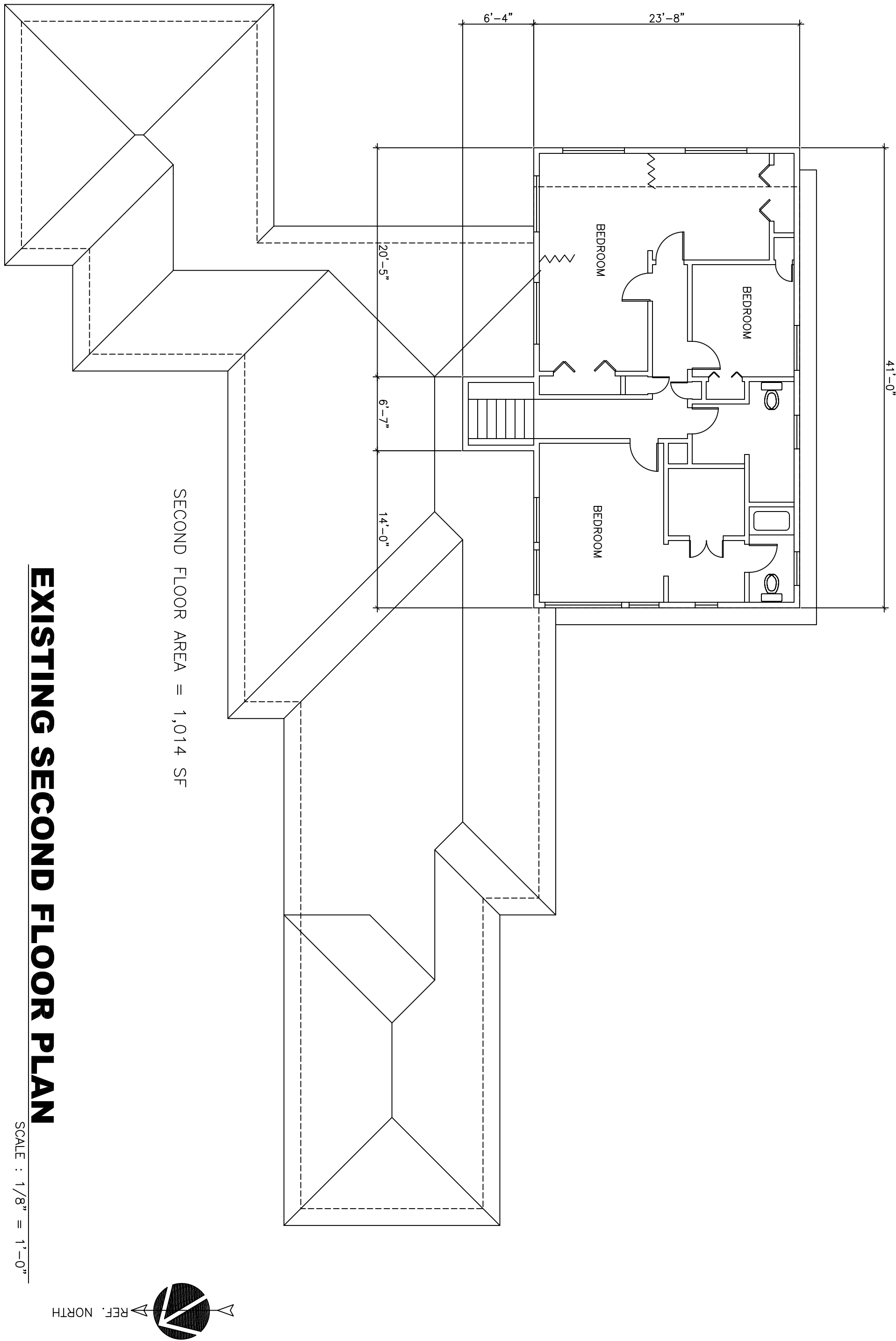
OWNER
TELEPHONE NO:

(408) 838-4407

SITE PLAN, VICINITY MAP. PROJECT DATA

AS NOTED

A-0



PROJECT
NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. BALA RANGABASHYAM
TELEPHONE NO: (408) 838-4407

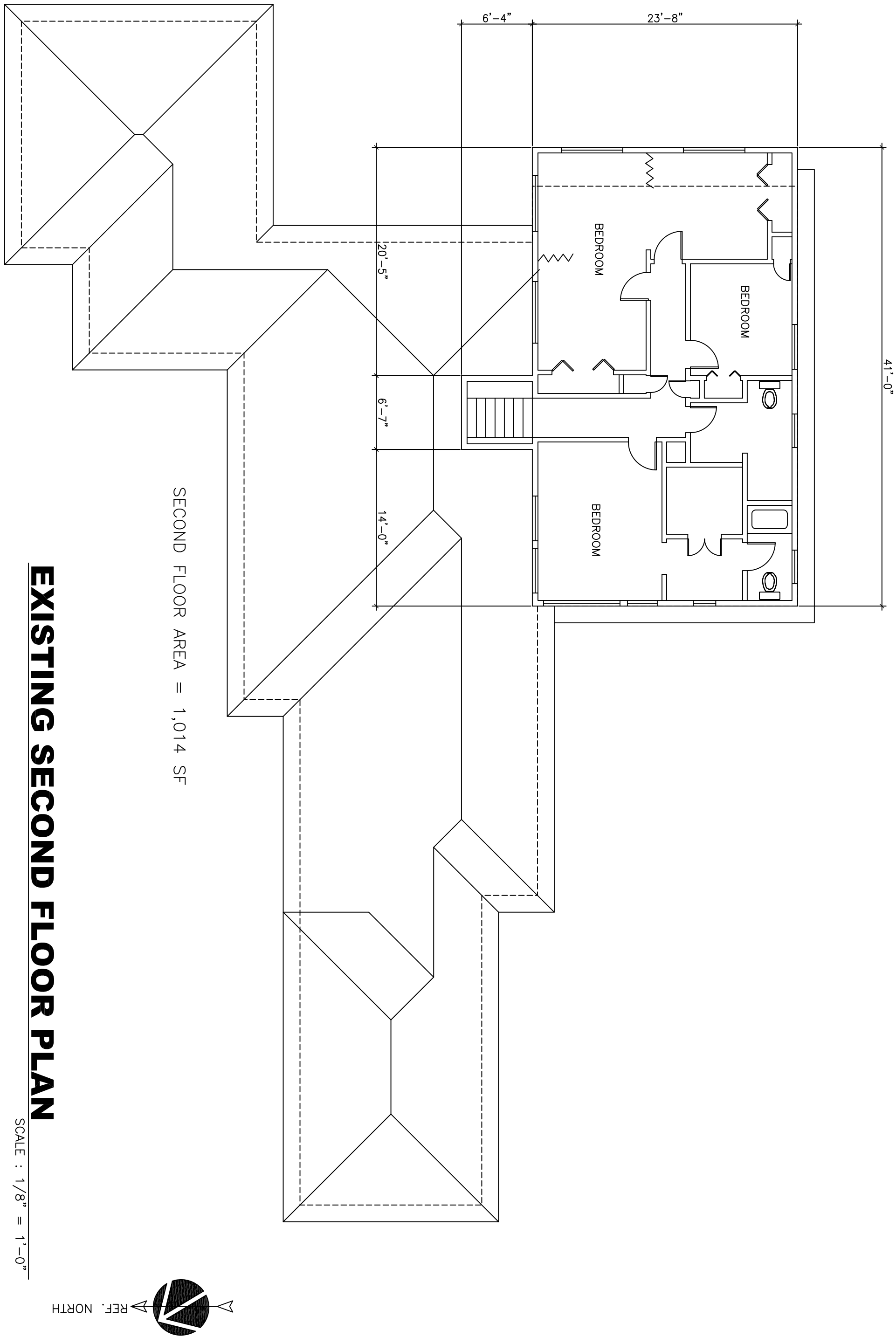
SHEET TITLE
EXISTING FLOOR PLANS
SCALE
AS NOTED

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REVISION 3
REVISION 4
REVISION 5
REVISION 6

JOB NO.
55555
DATE
11/18/18
DRAWN BY
R45010801

SHEET NO.

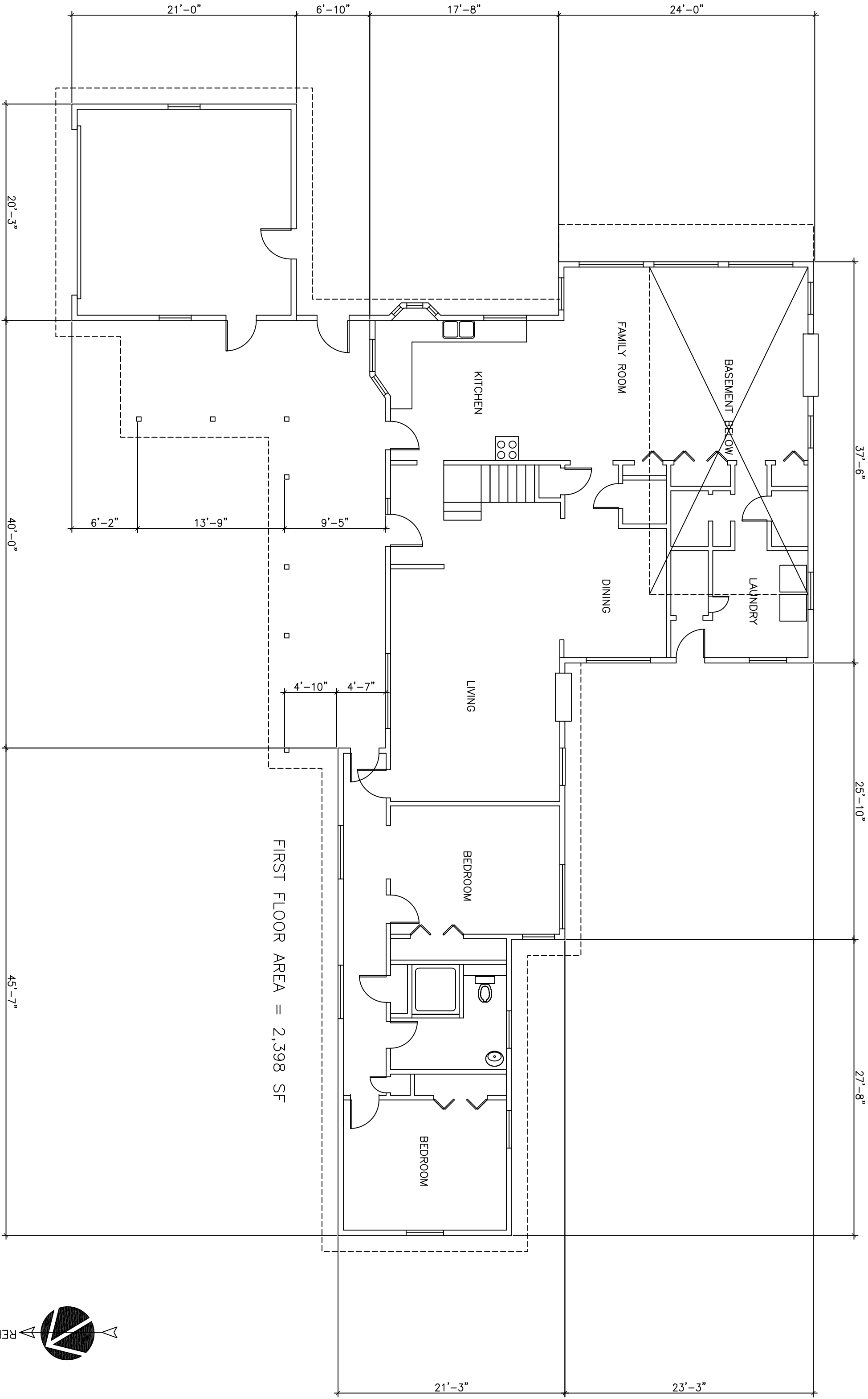
A-1



SECOND FLOOR AREA = 1,014 SF

EXISTING SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"



FIRST FLOOR AREA = 2,398 SF

EXISTING FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

PROJECT
NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. BALA RANGABASHYAM
TELEPHONE NO: (408) 838-4407

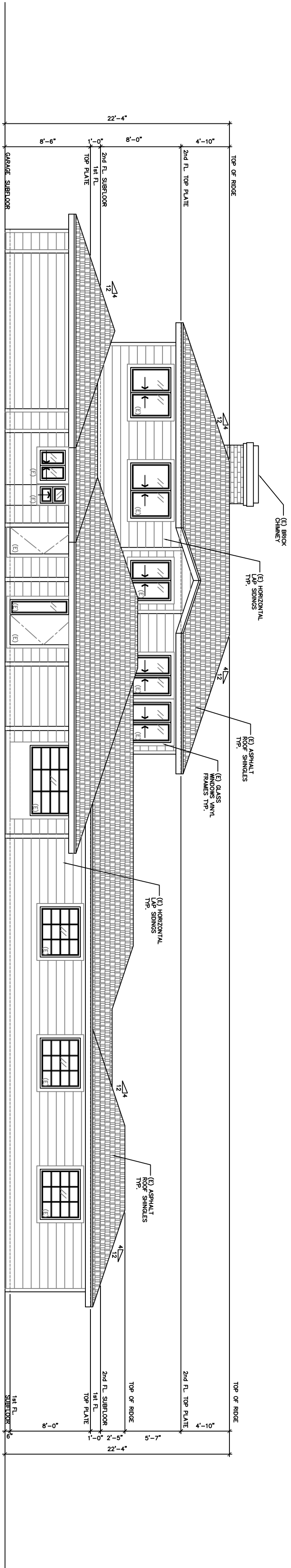
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EXISTING FLOOR PLANS
SCALE
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JOB NO.
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R45010801

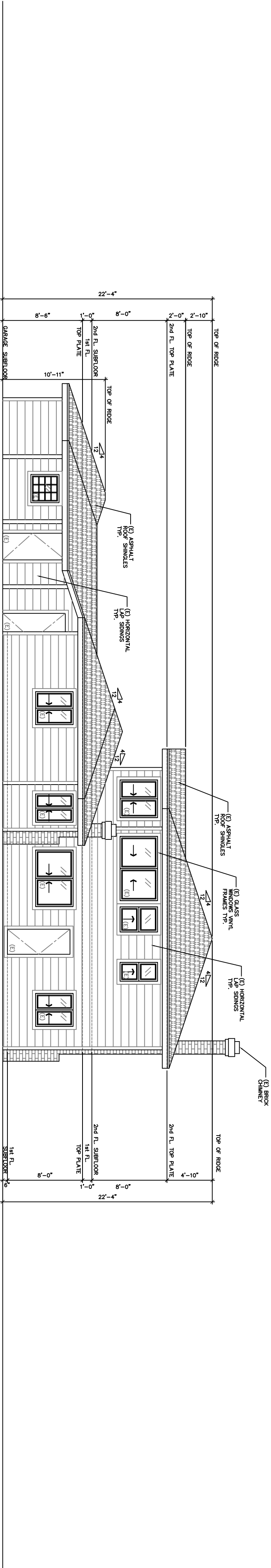
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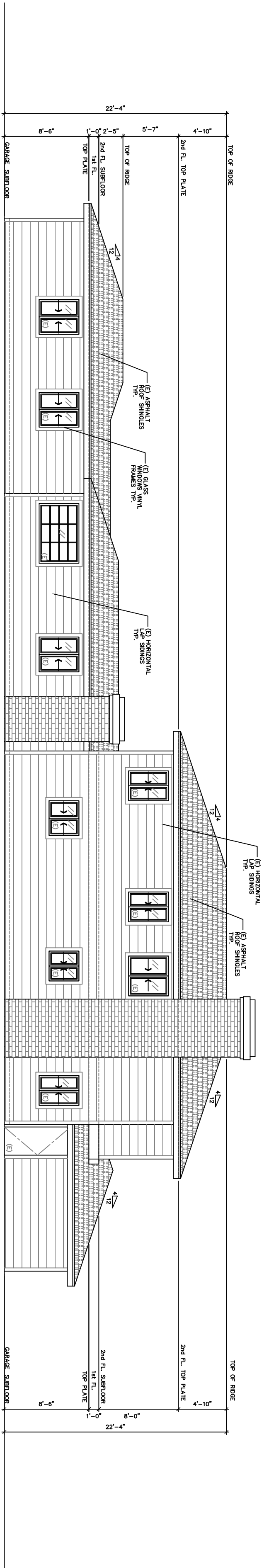
EXISTING FRONT ELEVATION

SCALE : 1/8" = 1'-0"



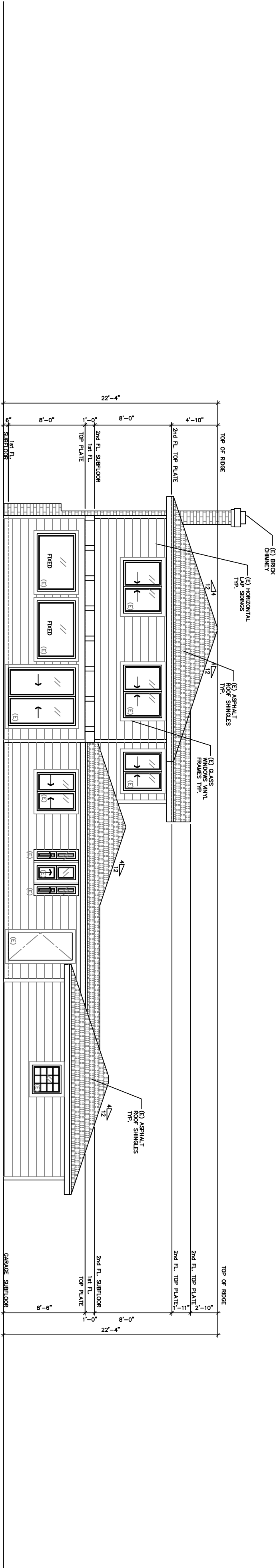
EXISTING RIGHT-SIDE ELEVATION

SCALE : 1/8" = 1'-0"



EXISTING REAR ELEVATION

SCALE : 1/8" = 1'-0"



EXISTING LEFT-SIDE ELEVATION

SCALE : 1/8" = 1'-0"

PROJECT
NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. BALA RANGABASHYAM
TELEPHONE NO. (408) 838-4407

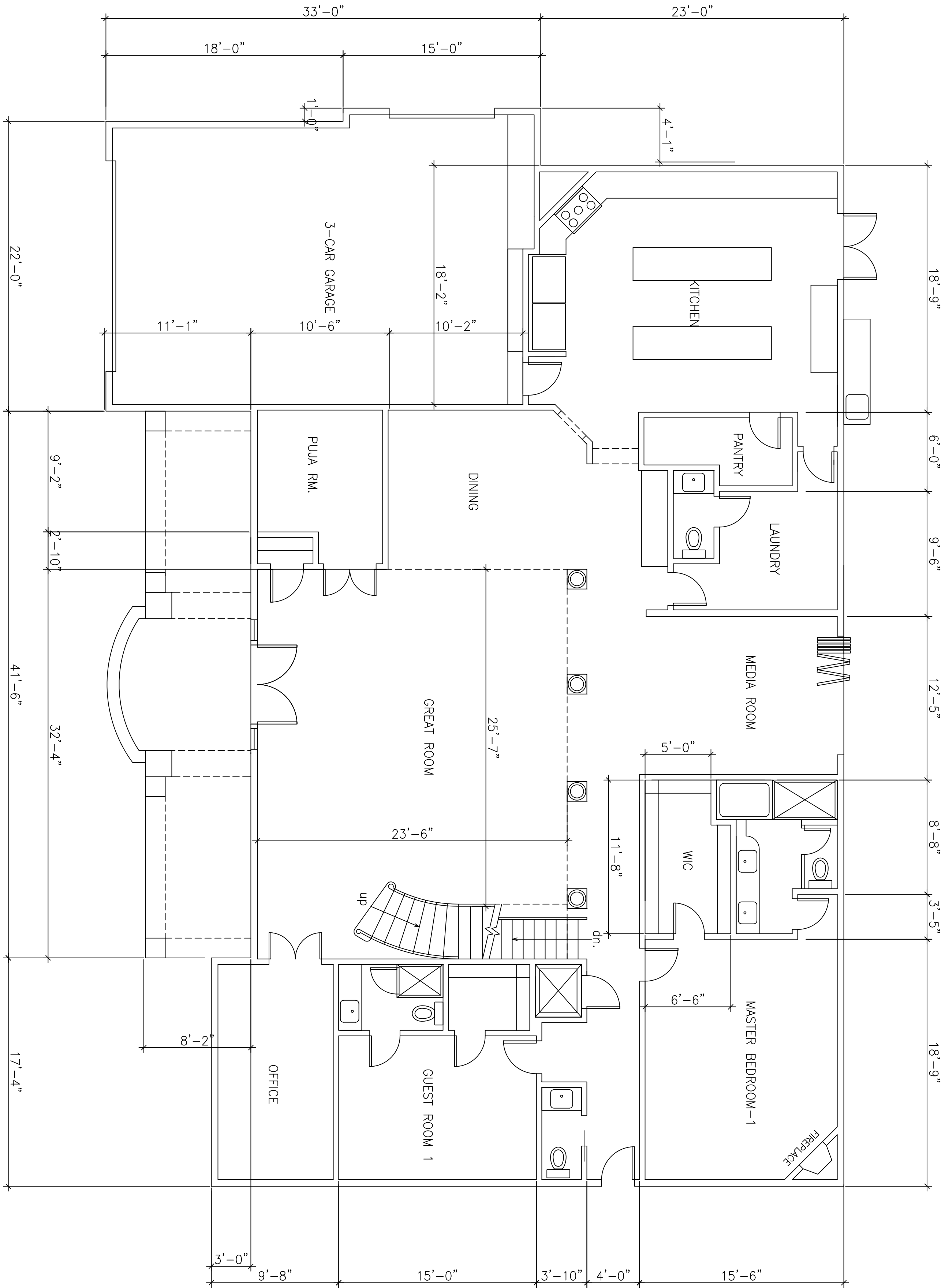
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EXISTING ELEVATIONS
SCALE
AS NOTED

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JOB NO.	55555
DATE	11/18/18
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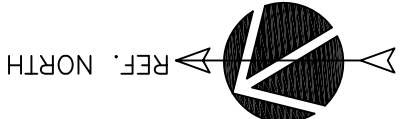
SHEET NO.

A-1.2



FIRST FLOOR PLAN

SCALE : 3/16" = 1'-0"



SHEET TITLE

FIRST FLOOR PLAN

SCALE

AS NOTED

PROJECT

MR. & MRS. RANGABASHYAM RESIDENCE
17070 WILD WAY, LOS GATOS, CA.

OWNER

MR. & MRS. BALA RANGABASHYAM

TELEPHONE NO:

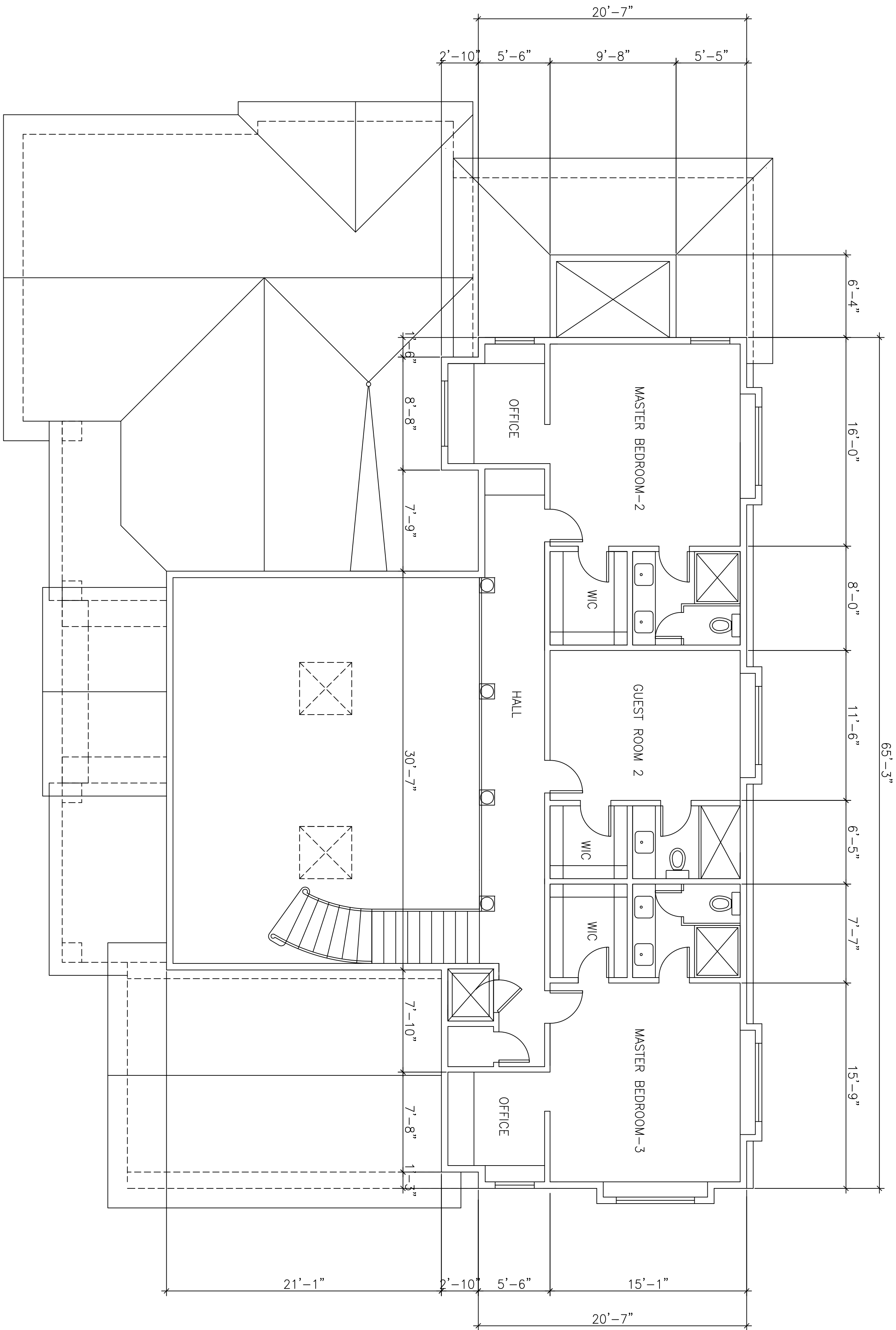
(408) 838-4407

REVISION	Δ
REVISION	Δ
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REVISION	Δ
REVISION	Δ
REVISION	Δ

JOB NO.	580818
DATE	08/15/18
DRAWN BY	R45010801

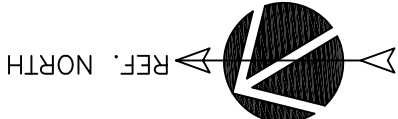
SHEET NO.

A-2



SECOND FLOOR PLAN

SCALE : 3/16" = 1'-0"



SHEET TITLE
SECOND FLOOR PLAN
SCALE
AS NOTED

PROJECT
MR. & MRS. RANGABASHYAM RESIDENCE 17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. & MRS. BALA RANGABASHYAM
TELEPHONE NO.
(408) 838-4407

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REVISION

JOB NO.
580818
DATE
08/15/18
DRAWN BY
R45010801

SHEET NO.
A-3

PROJECT	RESIDENTIAL REMODEL & TWO STORY ADDITION 345 CARROLL STREET, SUNNYVALE, CA.
OWNER	MR. PENG WANG & MRS. JENNY KWONG
TELEPHONE NO:	(408) 718-1323

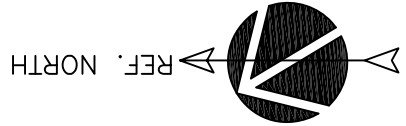
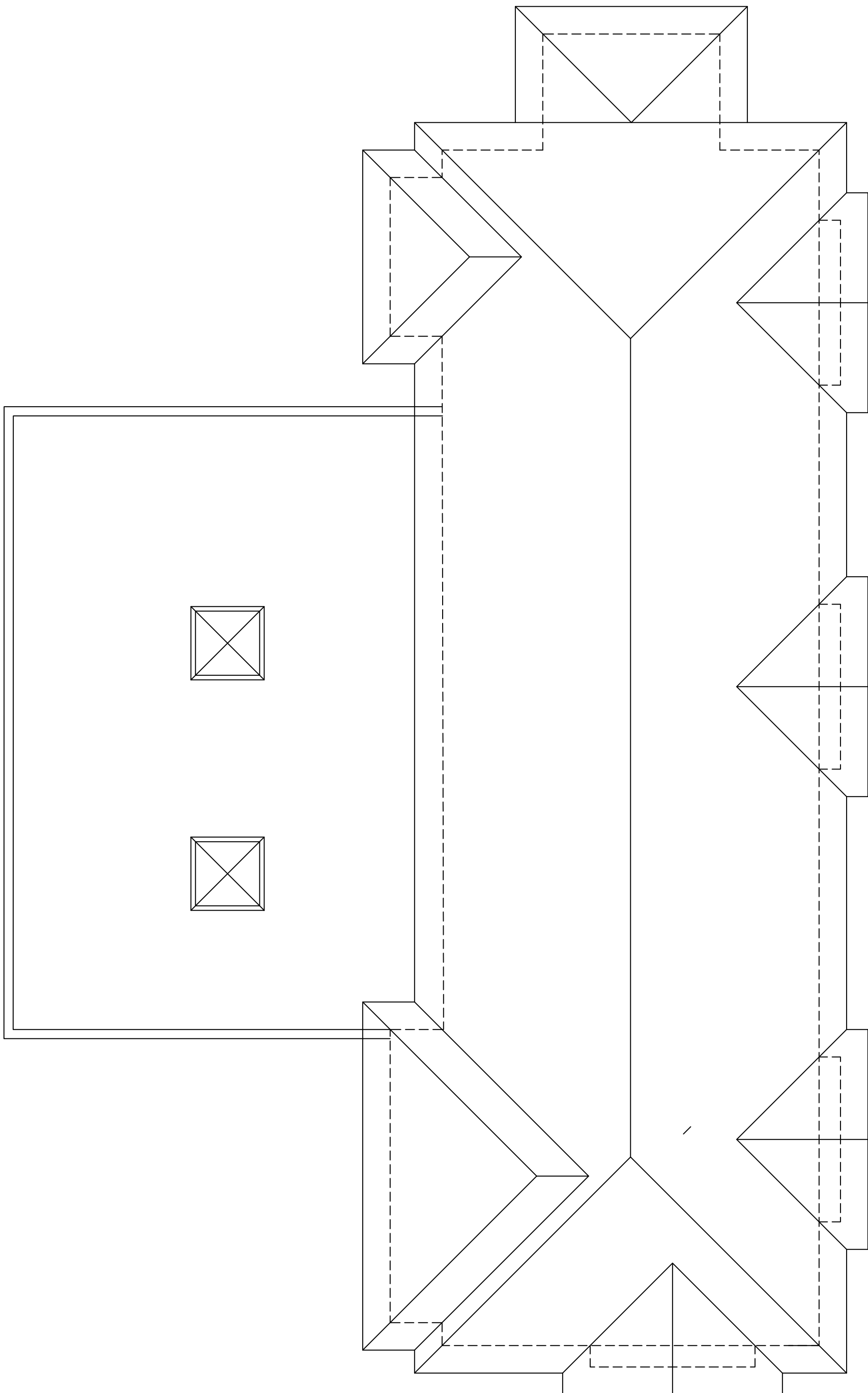
SHEET TITLE	SECOND FLOOR ROOF PLAN
SCALE	AS NOTED

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REVISION 1
REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6

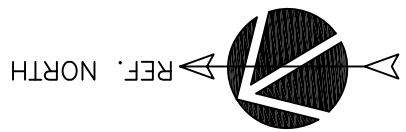
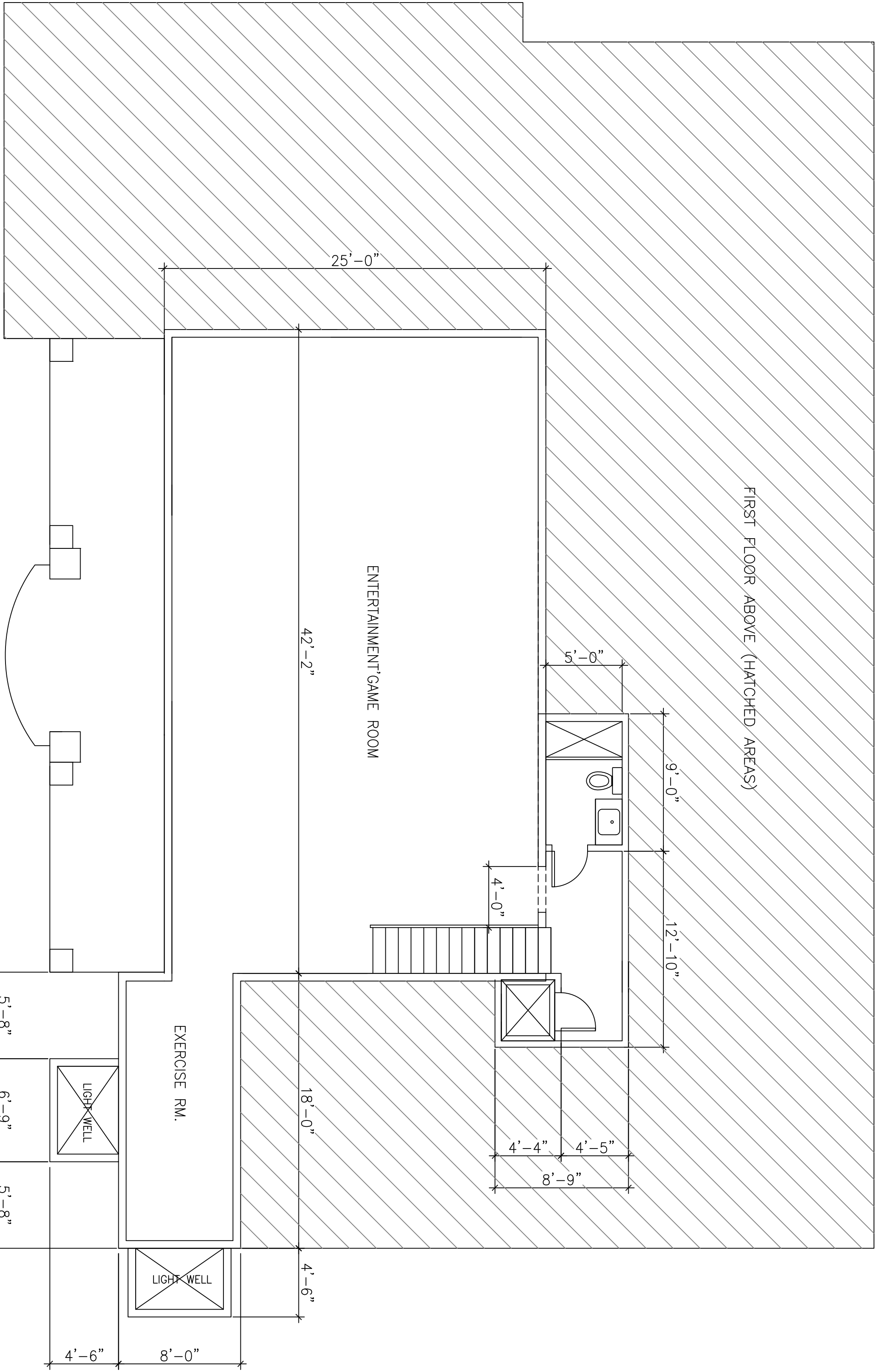
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DATE	12/08/16
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SHEET NO.	A-3A
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SECOND FLOOR ROOF PLAN

SCALE : 3/16" = 1'-0"



BASEMENT FLOOR PLAN

SCALE : 3/16" = 1'-0"

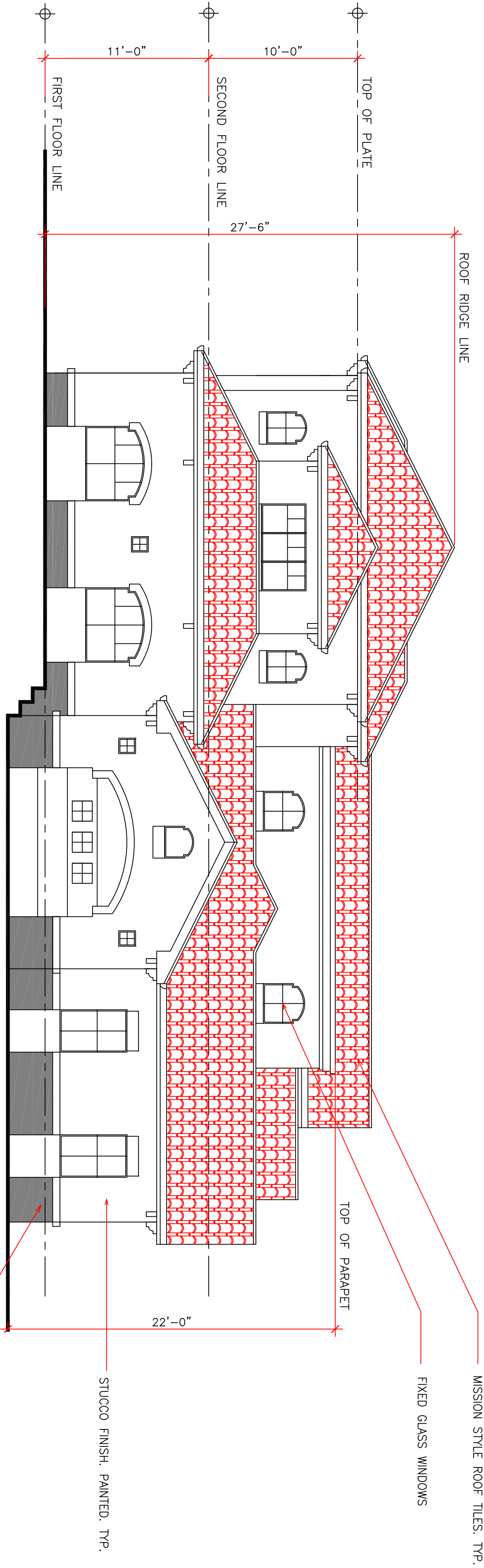
PROJECT
MR. & MRS. RANGABASHYAM RESIDENCE
17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. & MRS. BALA RANGABASHYAM
TELEPHONE NO.: (408) 838-4407

SHEET TITLE
BASEMENT FLOOR PLAN
SCALE
AS NOTED

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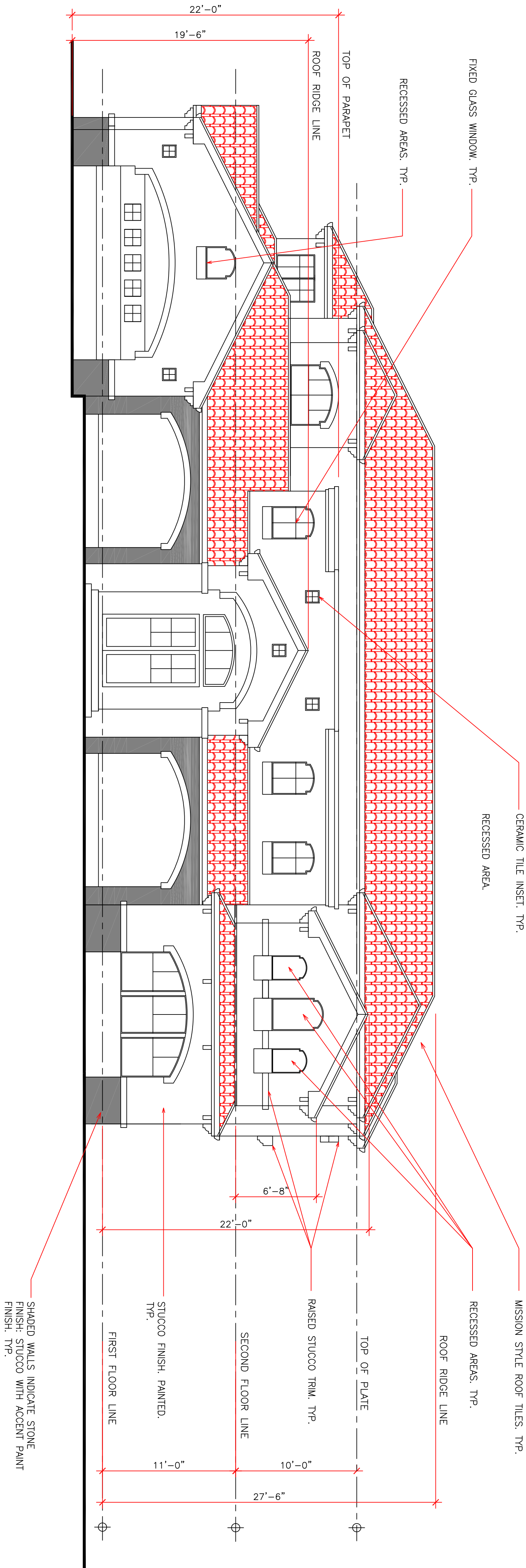
JOB NO.
580818
DATE
08/15/18
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R45010801

SHEET NO.
A-4



LEFT-SIDE ELEVATION (EAST)

SCALE : 3/16" = 1'-0"



FRONT ELEVATION (NORTH)

SCALE : 3/16" = 1'-0"

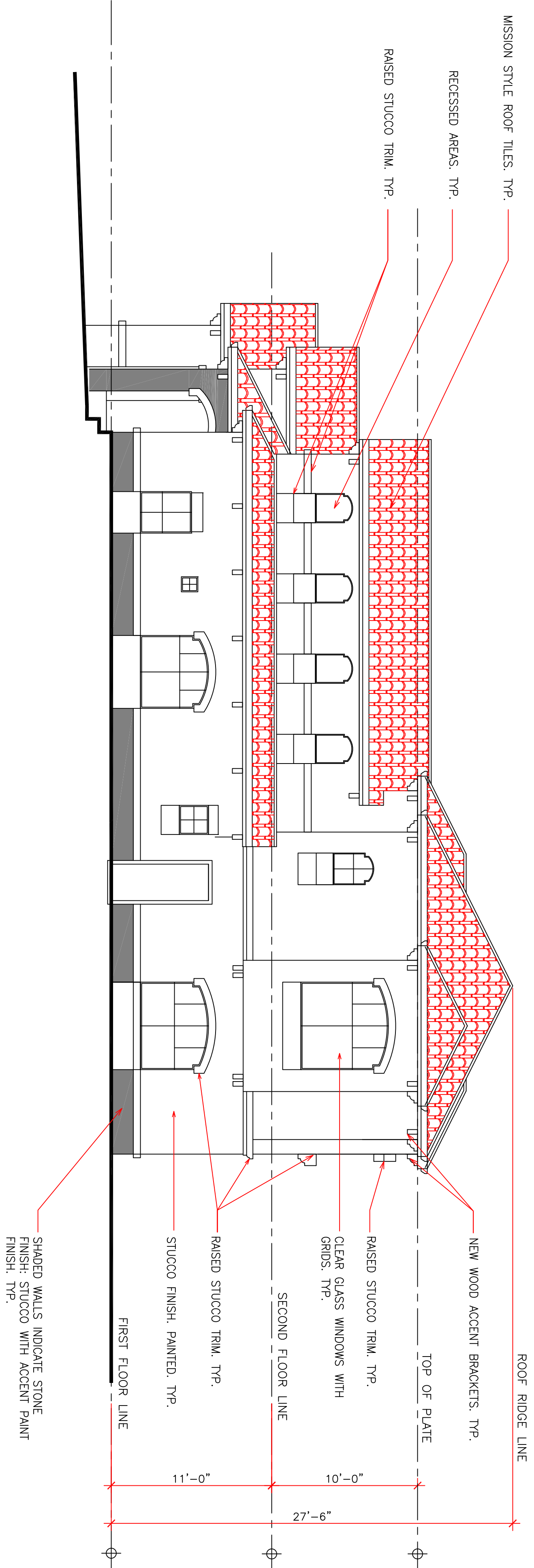
PROJECT
MR. & MRS. RANGABASHYAM RESIDENCE
17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. & MRS. BALA RANGABASHYAM
TELEPHONE NO: (408) 838-4407

SHEET TITLE
ELEVATIONS
SCALE
AS NOTED

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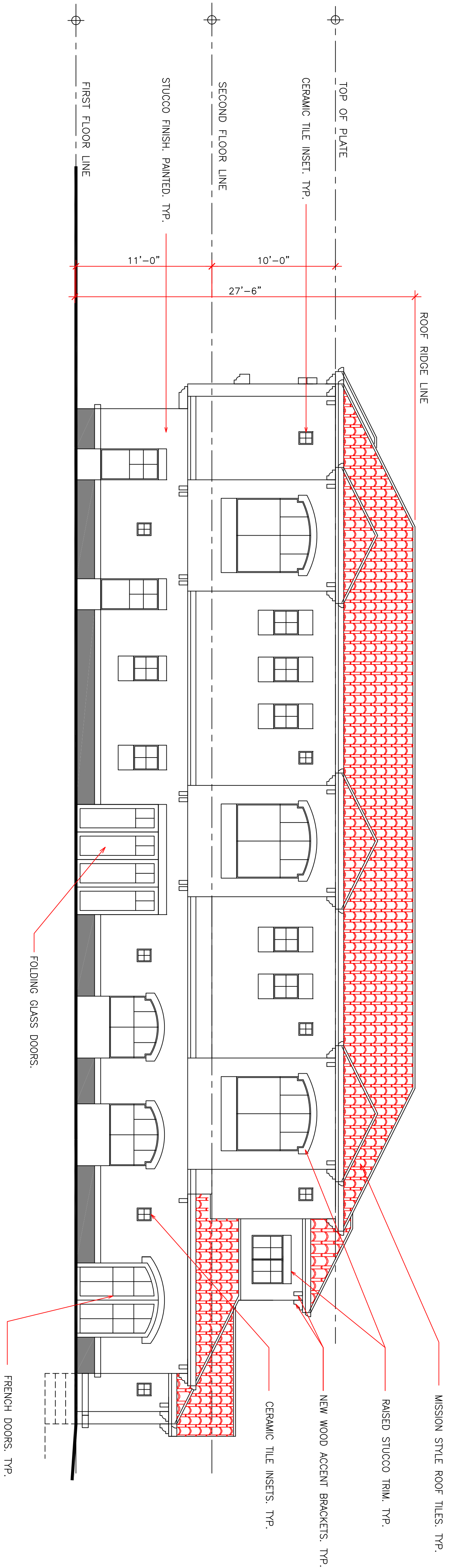
JOB NO.
580818
DATE
08/15/18
DRAWN BY
R45010801

A-5



RIGHT-SIDE ELEVATION (WEST)

SCALE : 3/16" = 1'-0"



REAR ELEVATION (SOUTH)

SCALE : 3/16" = 1'-0"

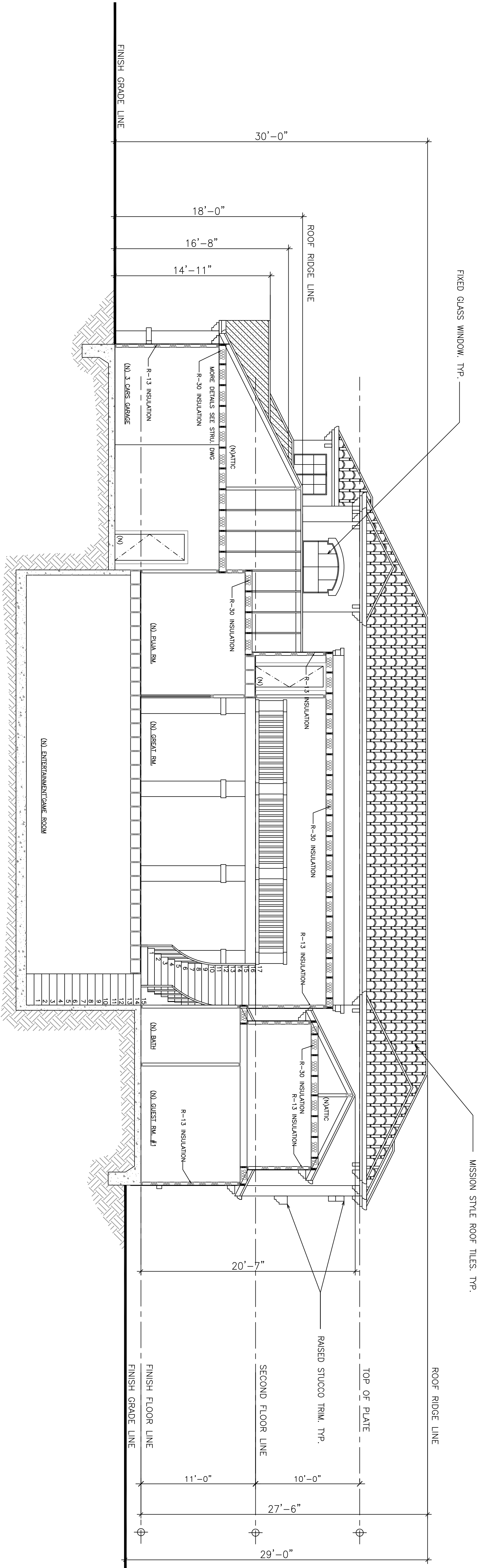
PROJECT
MR. & MRS. RANGABASHYAM RESIDENCE
17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. & MRS. BALA RANGABASHYAM
TELEPHONE NO.: (408) 838-4407

SHEET TITLE
ELEVATIONS
SCALE
AS NOTED

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REVISION	Δ
REVISION	Δ
REVISION	Δ

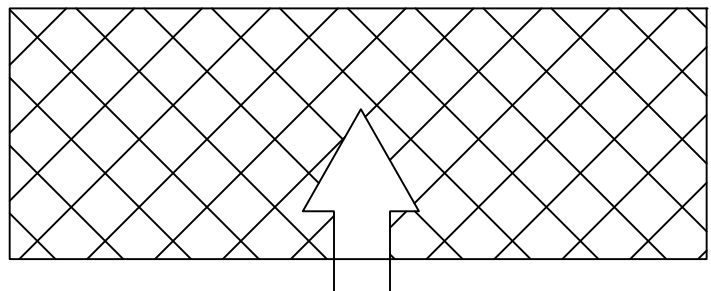
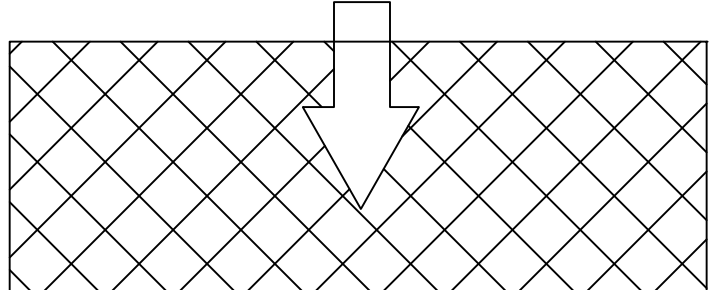
JOB NO.
580818
DATE
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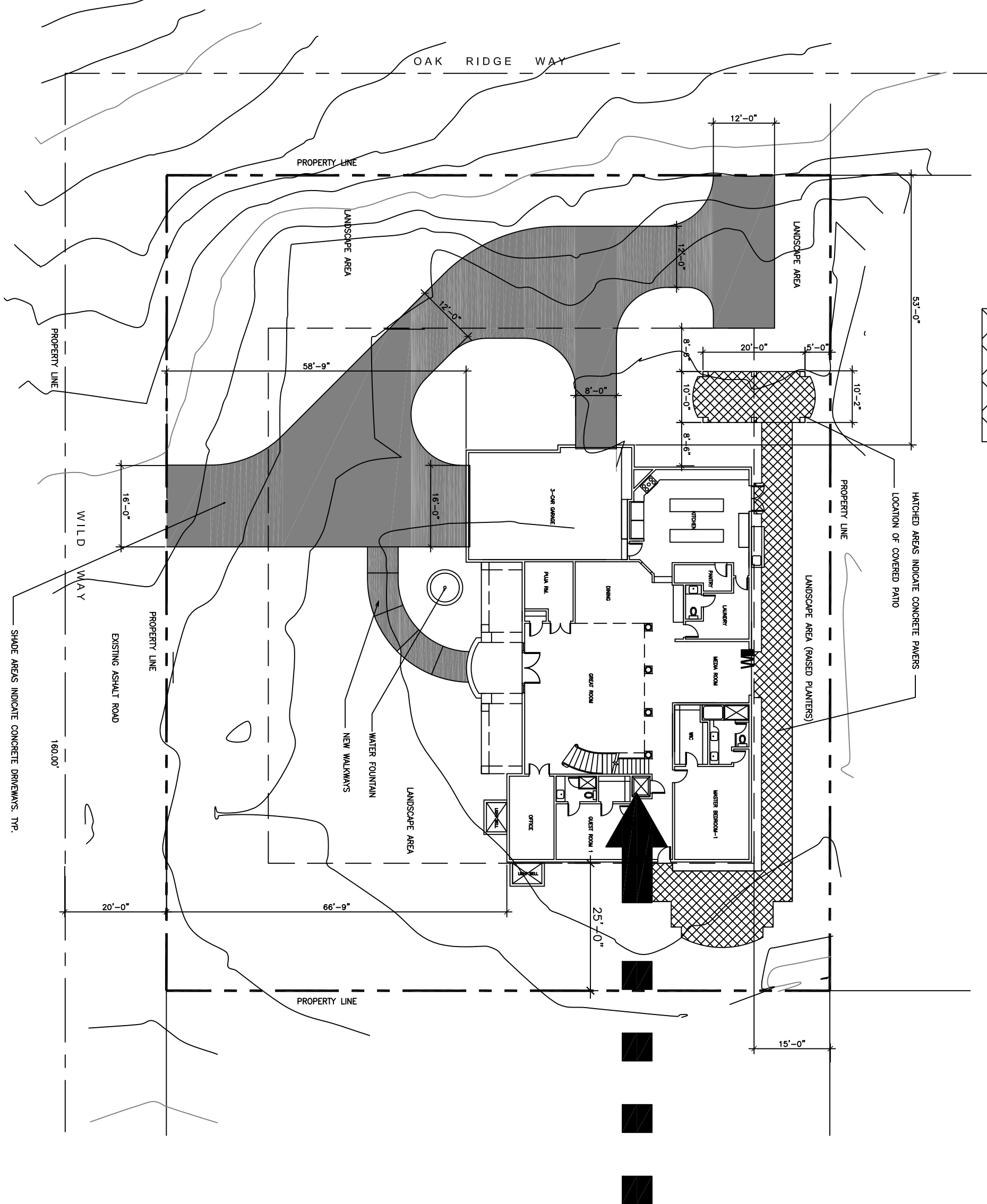
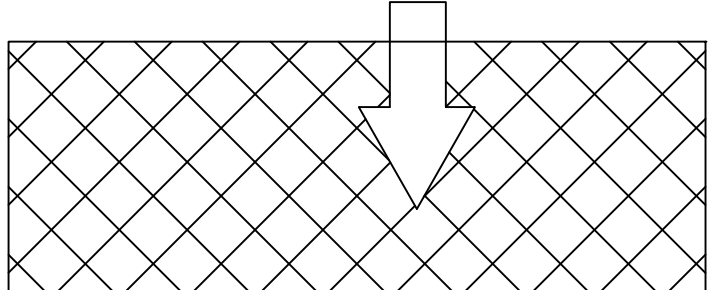




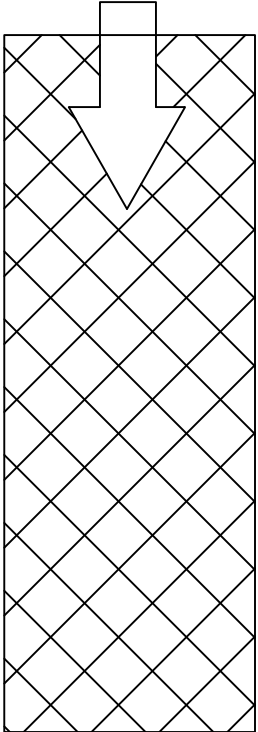
15220 OAK RIDGE WAY



15231 WILD WAY



17061 WILD WAY



NEIGHBORHOOD PLAN

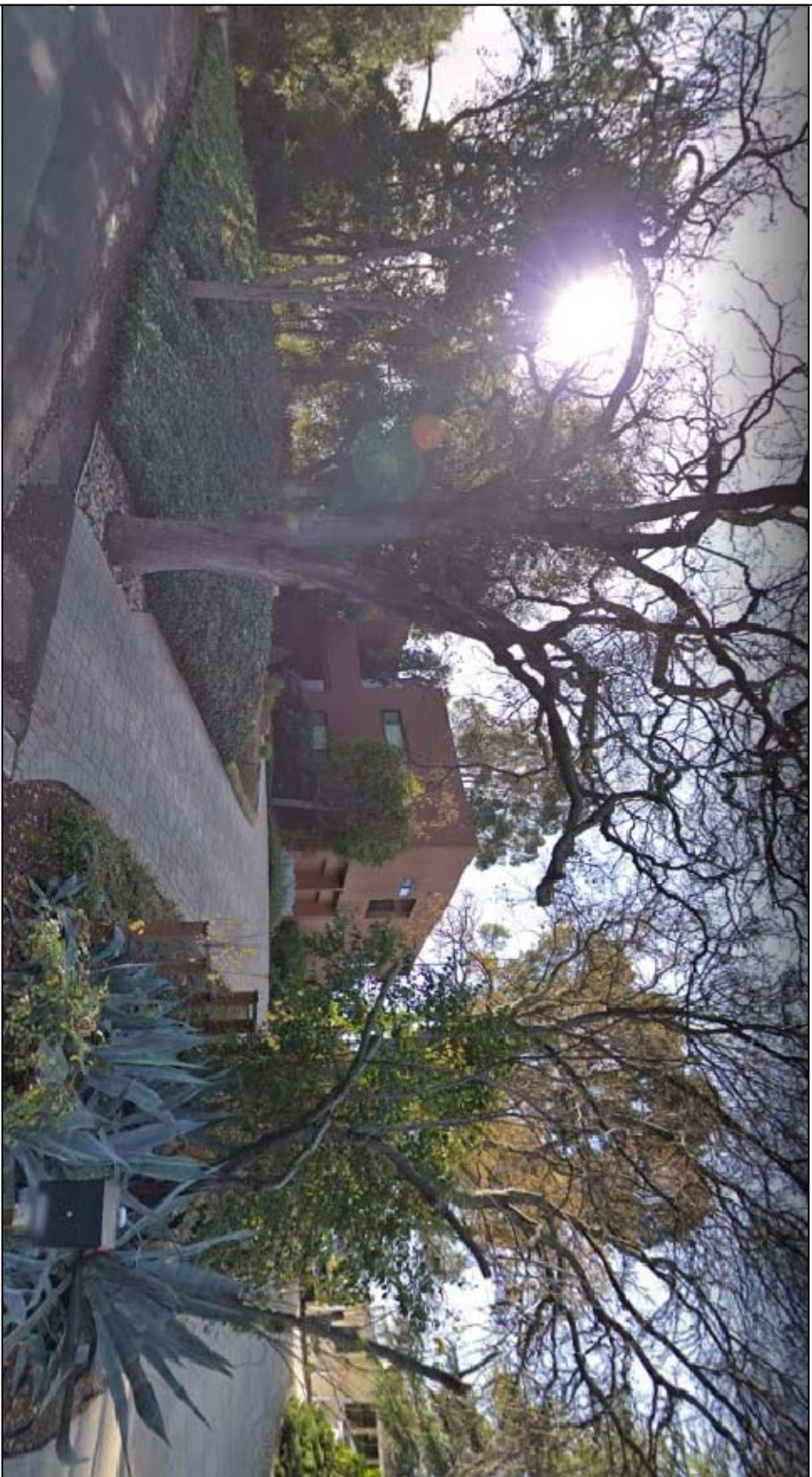
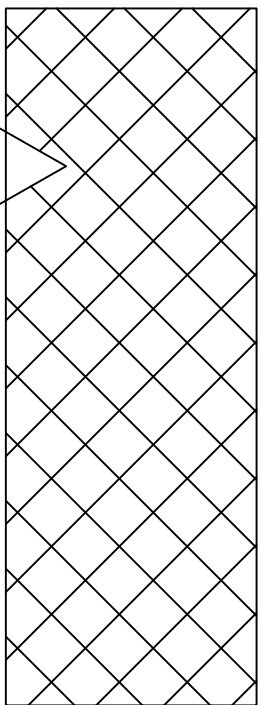
SCALE : 1" = 20'-0"



15231 OAK RIDGE WAY



17070 WILD WAY



17136 WILD WAY

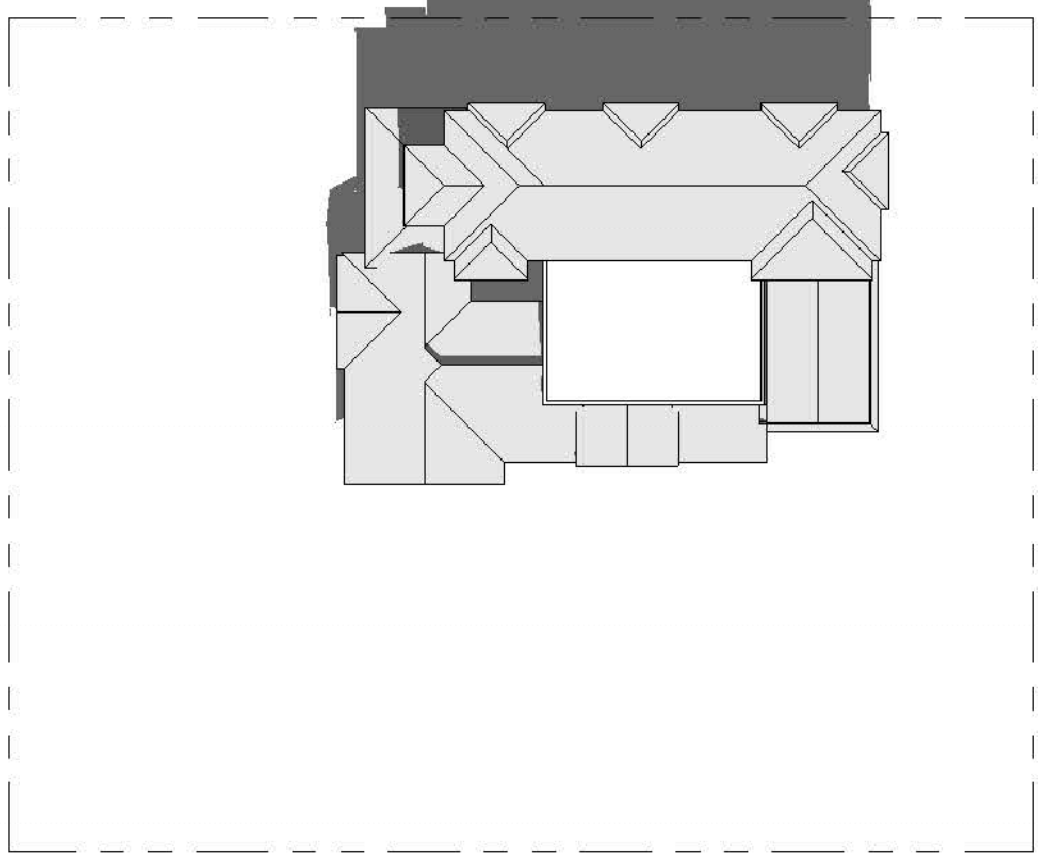
PROJECT	
NEW TWO STORY RESIDENCE	
17070 WILD WAY, LOS GATOS, CA.	
OWNER	
MR. BALA RANGABASHYAM	
TELEPHONE NO:	
(408) 838-4407	

SHEET TITLE	
NEIGHBORHOOD PLAN	
SCALE	
AS NOTED	

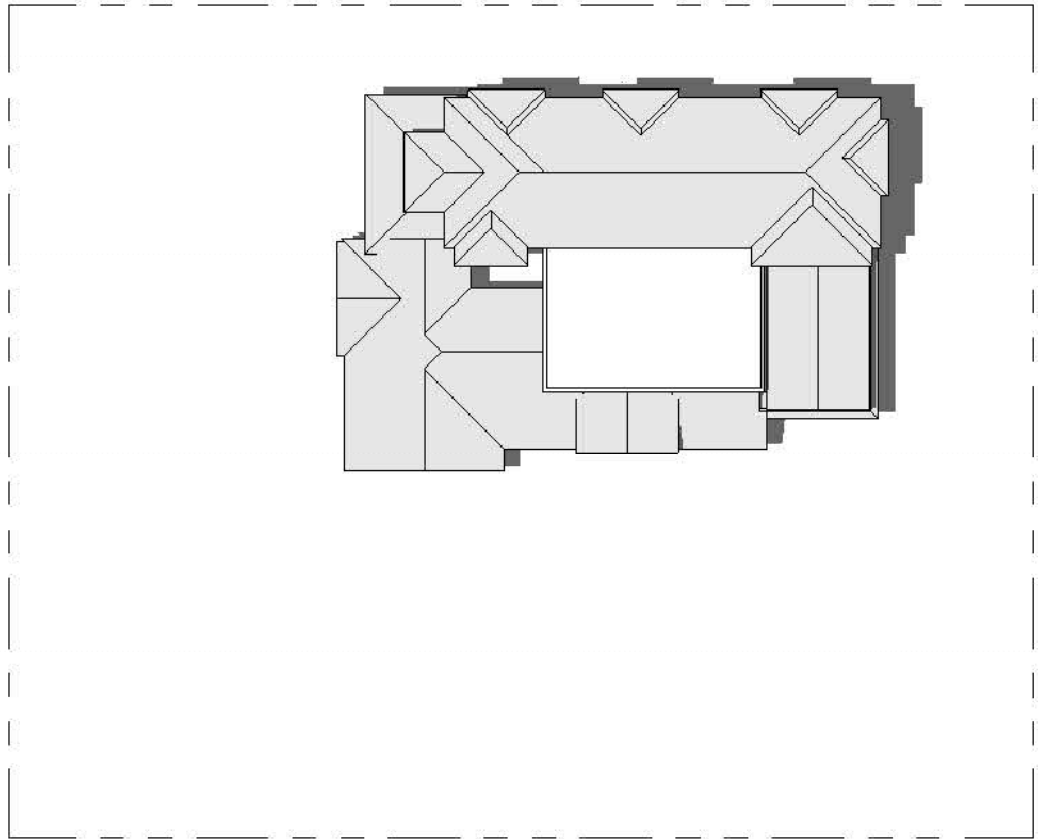
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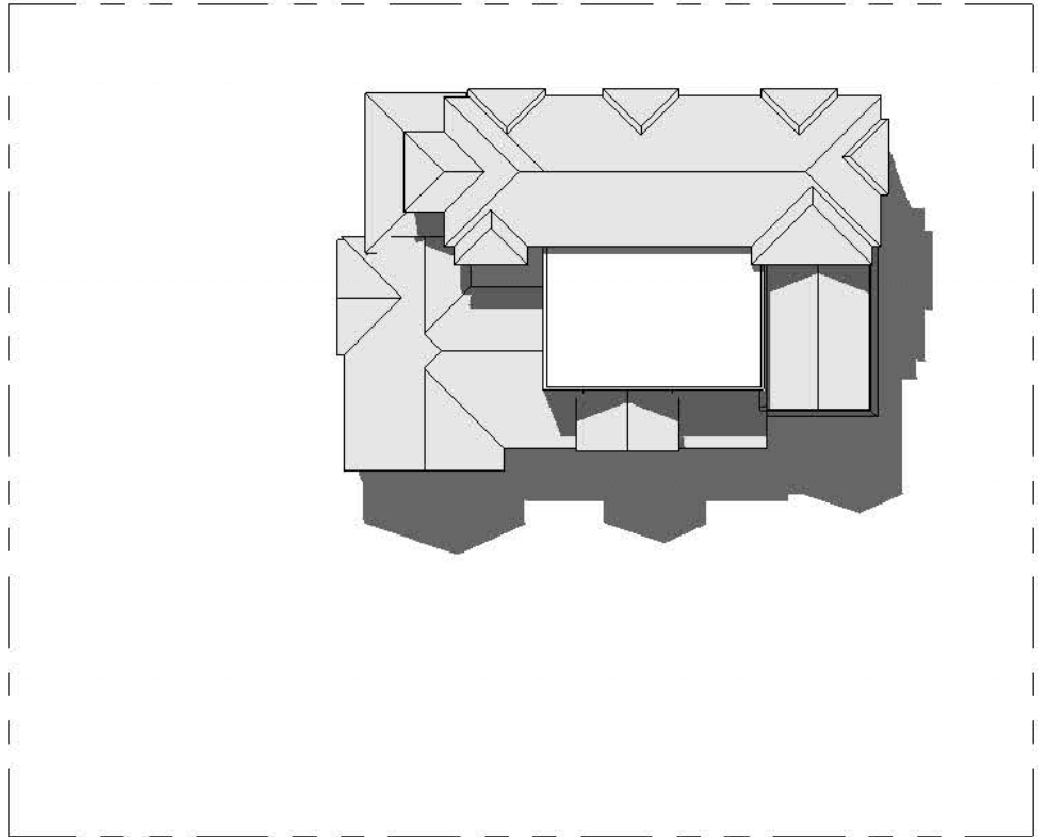
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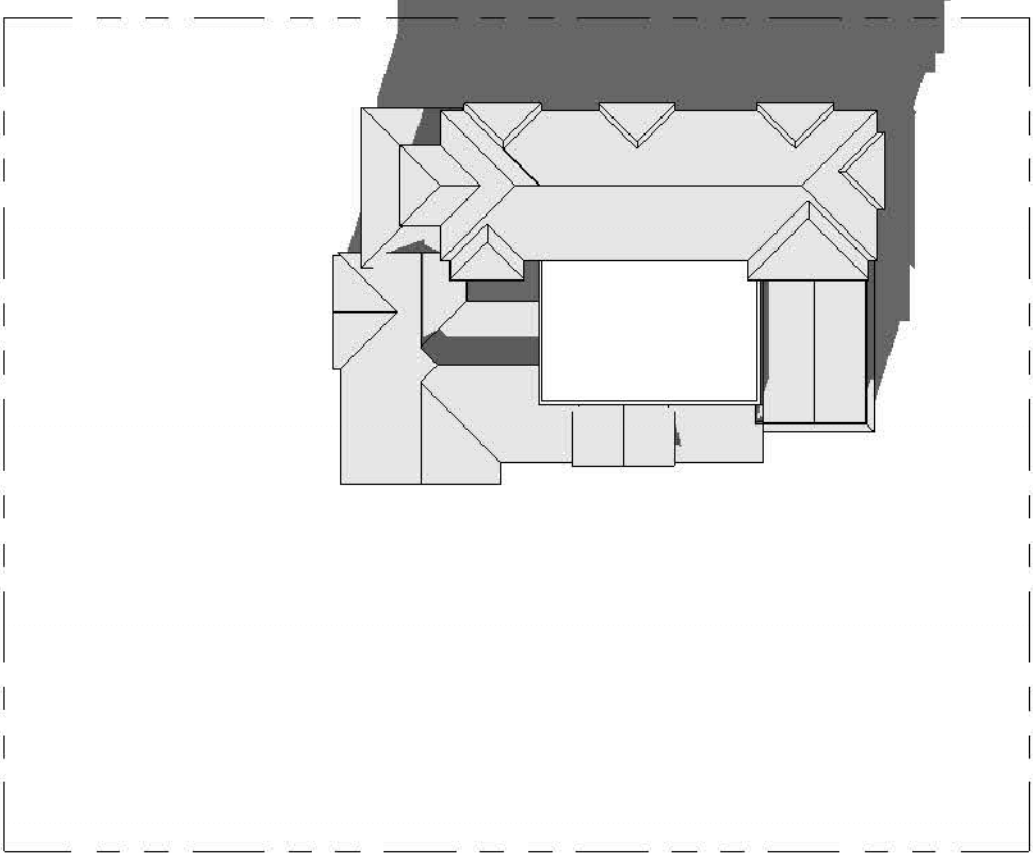
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1" = 30'-0"



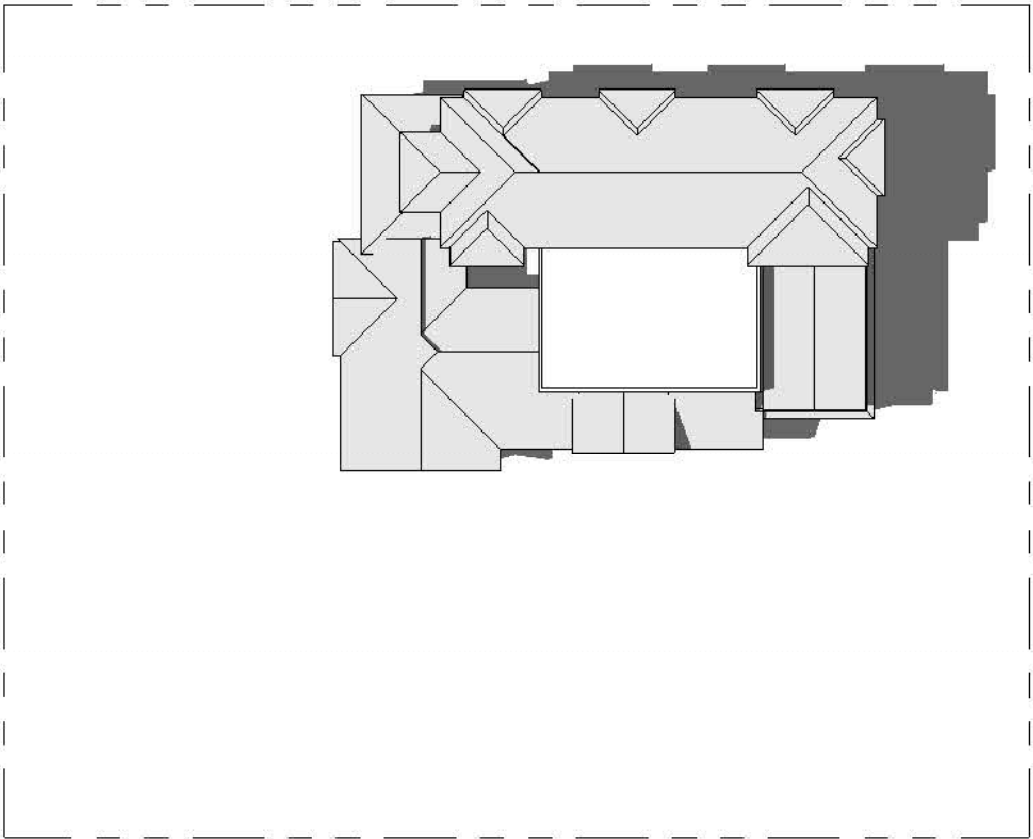
2 SHADOW STUDIES - JUNE 21 12:00 NOON
1" = 30'-0"



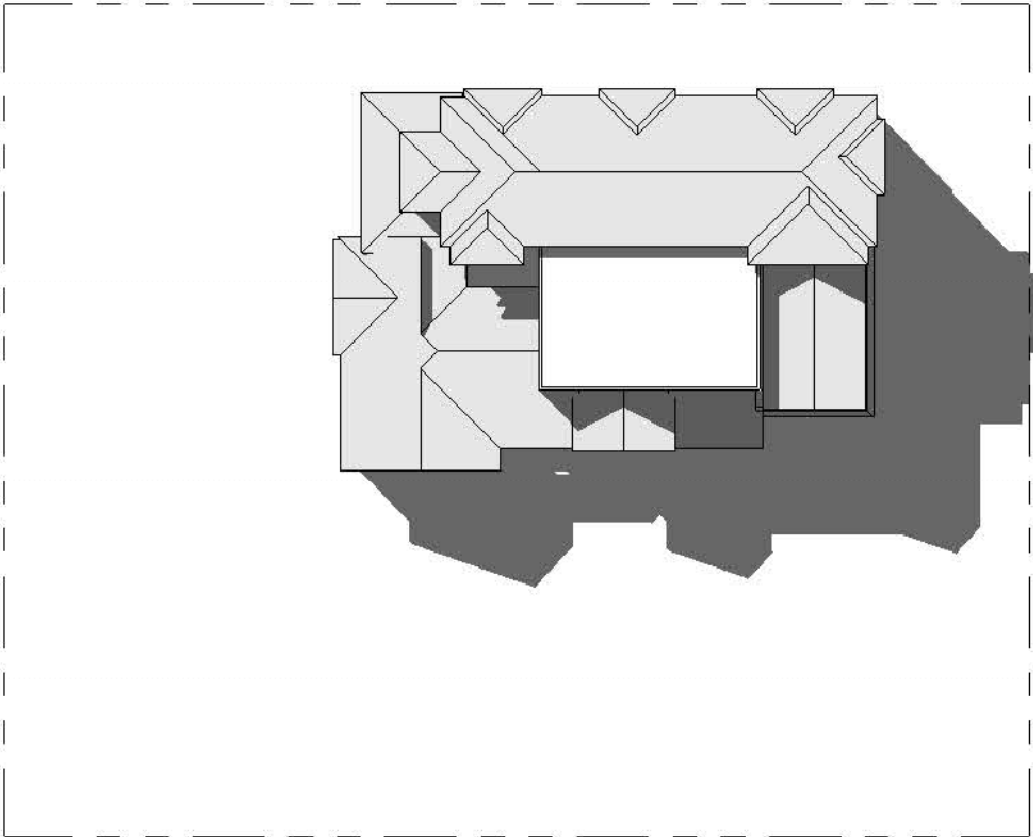
3 SHADOW STUDIES-JUNE 21, 3:00PM
1" = 30'-0"



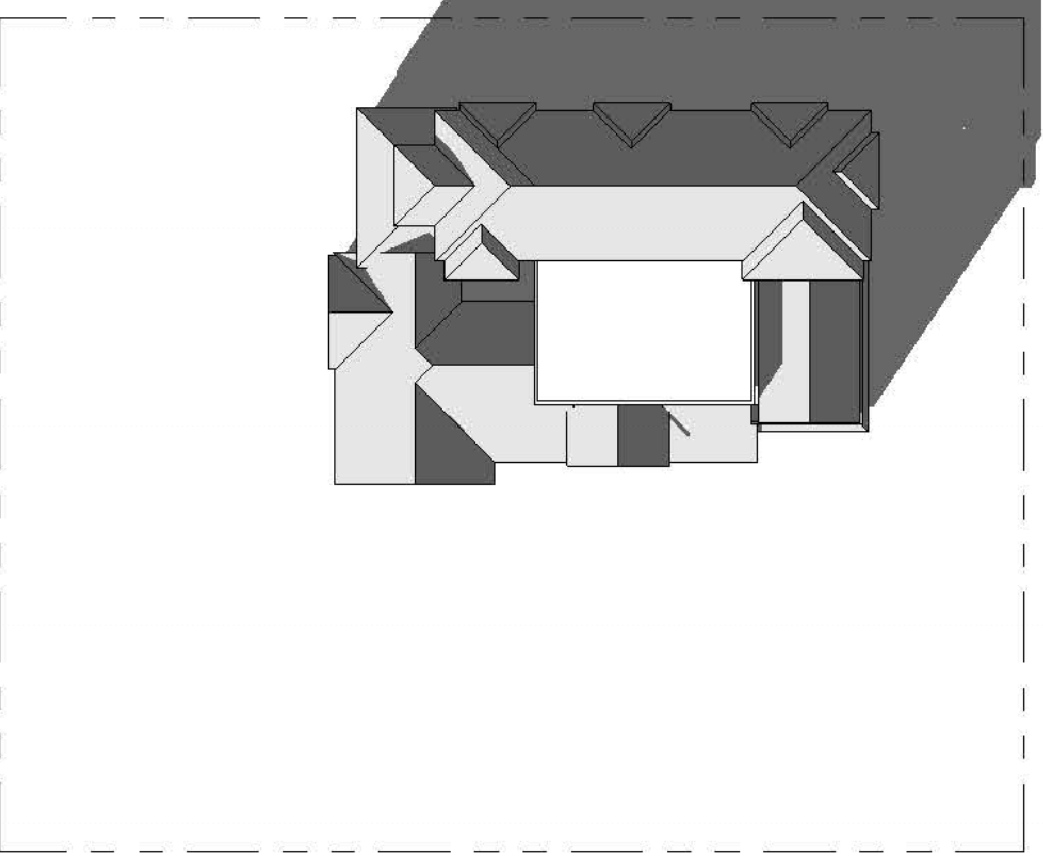
4 SHADOW STUDIES-SEPT 21, 9:00AM
1" = 30'-0"



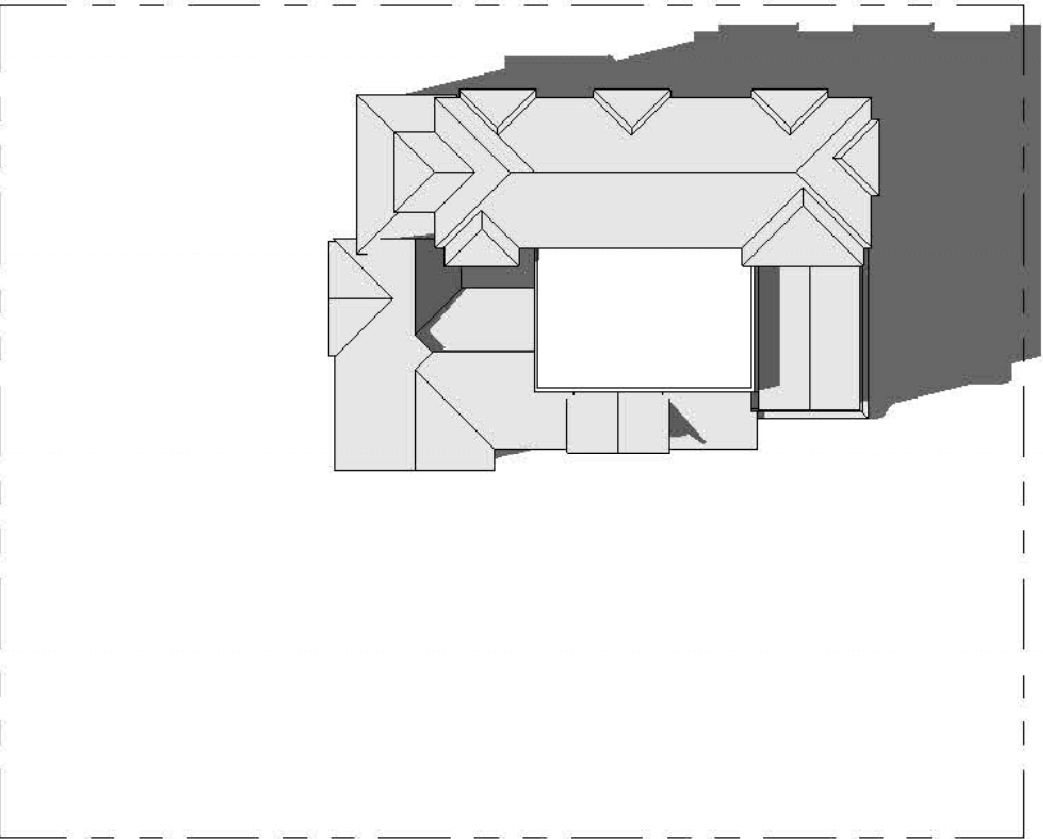
5 SHADOW STUDIES-SEPT 21, 12:00 NOON
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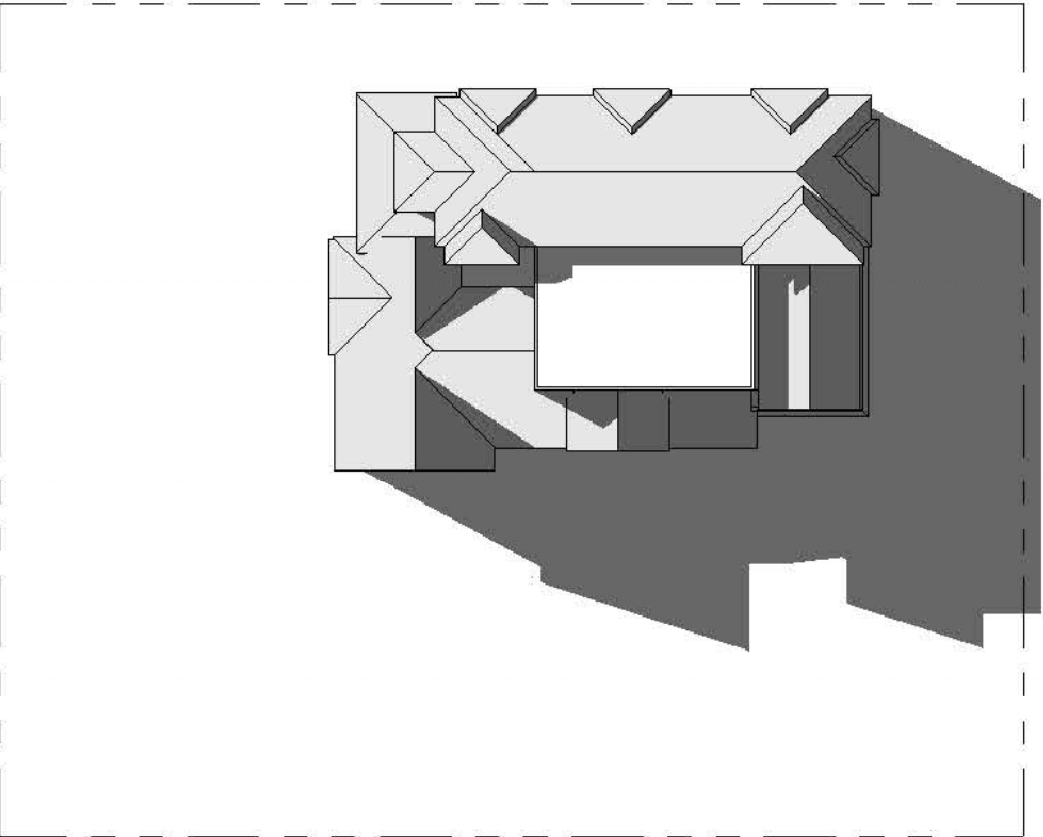
6 SHADOW STUDIES-SEPT 21, 3:00PM
1" = 30'-0"



7 SHADOW STUDIES-DEC 21, 9:00AM
1" = 30'-0"



8 SHADOW STUDIES-DEC 21, 12:00NOON
1" = 30'-0"



9 SHADOW STUDIES-DEC 21, 3:00PM
1" = 30'-0"

PROJECT
NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. BALA RANGABASHYAM
TELEPHONE NO: (408) 838-4407

SHEET TITLE
SHADOW STUDY

SCALE
AS NOTED

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SHEET NO.

A-9

I. TOWN OF LOS GATOS STANDARD GRADING NOTES

1. ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE TOWN OF LOS GATOS GRADING ORDINANCE, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
2. A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE DEPARTMENT OF PARKS AND PUBLIC WORKS PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT 408.399.5771 AT LEAST 48 HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
- A. A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
- B. ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
4. APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
5. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
6. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF 48 HOURS BUT NOT MORE THAN 14 DAYS PRIOR TO COMMENCING ALL WORK.
7. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
8. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
9. THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
11. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
- A. RETAINING WALL--TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DEPARTMENT).
- B. TOE AND TOP OF CUT AND FILL SLOPES
12. PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.
- SOILS ENGINEER: REDWOOD GEOTECHNICAL ENGINEERING, INC.
REFERENCE REPORT NO. 2279SCL, DATED OCTOBER, 2015
LETTER NO. _____, DATED _____, 20____
- SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
13. DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ONSITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
14. THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
15. ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVE ABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS

- NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
16. THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
17. OWNER/APPLICANT: BALA RANGABASHYAM
PHONE: -----
18. GENERAL CONTRACTOR (IF AVAILABLE):
PHONE: -----
19. GRADING CONTRACTOR (IF AVAILABLE):
PHONE: -----
20. EARTHWORK QUANTITY
- A. CUT: 242 CY, EXPORT: 205 CY
B. FILL: 37 CY, IMPORT: CY
- EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.
21. WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
22. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
23. A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
24. NO CROSS LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORM WATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
25. IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
26. GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION.

SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.

27. GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN, THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ONSITE AT ALL TIMES. NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR ONTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

II. DUST CONTROL

1. ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
2. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST.
3. GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR.
4. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED.
5. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEP (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

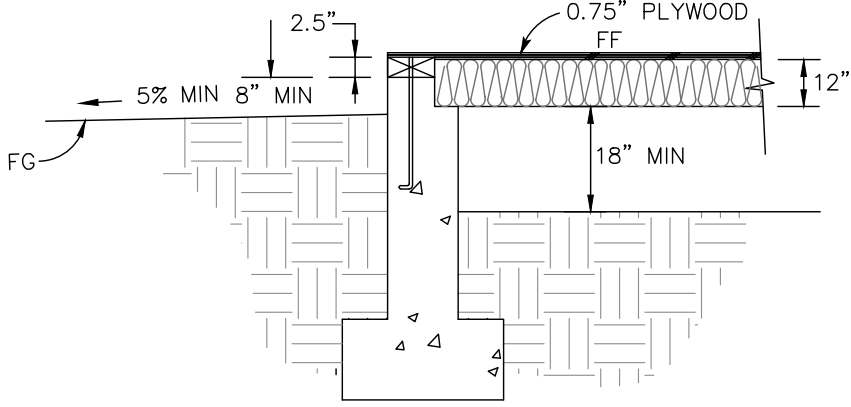
PROJECT NOTES:

- SURVEYING CONTROLS: HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
- a. RETAINING WALL--TOP OF WALL ELEVATIONS AND LOCATIONS
- b. TOE AND TOP OF CUT AND FILL SLOPES
- PAD CERTIFICATION: A LETTER FROM A LICENSED LAND SURVEYOR SHALL BE PROVIDED STATING THAT THE BUILDING FOUNDATION WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS SHALL BE PROVIDED SUBSEQUENT TO FOUNDATION CONSTRUCTION AND PRIOR TO CONSTRUCTION ON THE STRUCTURE. THE PAD CERTIFICATION SHALL ADDRESS BOTH VERTICAL AND HORIZONTAL FOUNDATION PLACEMENT.
- PRECONSTRUCTION MEETING: PRIOR TO ISSUANCE OF ANY PERMIT OR THE COMMENCEMENT OF ANY SITE WORK, THE GENERAL CONTRACTOR SHALL:
- a. ALONG WITH THE PROJECT APPLICANT, ATTEND A PRE-CONSTRUCTION MEETING WITH THE TOWN ENGINEER TO DISCUSS THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
- b. ACKNOWLEDGE IN WRITING THAT THEY HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- CONSTRUCTION VEHICLE PARKING: CONSTRUCTION VEHICLE PARKING WITHIN THE PUBLIC RIGHT-OF-WAY WILL ONLY BE ALLOWED IF IT DOES NOT CAUSE ACCESS OR SAFETY PROBLEMS AS DETERMINED BY THE TOWN.
- TRAFFIC CONTROL PLAN: THE PROJECT SPONSOR WILL BE REQUIRED TO WORK WITH THE ENGINEERING DIVISION OF THE PARKS AND PUBLIC WORKS DEPARTMENT TO DEVELOP A TRAFFIC CONTROL PLAN FOR INCORPORATION INTO THE CONSTRUCTION BID DOCUMENTS (SPECIFICATIONS), AND THIS PLAN WILL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING MEASURES:
- a. CONSTRUCTION ACTIVITIES SHALL BE STRATEGICALLY TIMED AND COORDINATED TO MINIMIZE TRAFFIC DISRUPTION FOR SCHOOLS, RESIDENTS, BUSINESSES, SPECIAL EVENTS, AND OTHER PROJECTS IN THE AREA. THE SCHOOLS LOCATED ON THE HAUL ROUTE SHALL BE CONTACTED TO HELP WITH THE COORDINATION OF THE TRUCKING OPERATION TO MINIMIZE TRAFFIC DISRUPTION.
- b. FLAG PERSONS SHALL BE PLACED AT LOCATIONS NECESSARY TO CONTROL ONE-WAY TRAFFIC FLOW. ALL FLAG PERSONS SHALL HAVE THE CAPABILITY OF COMMUNICATING WITH EACH OTHER TO COORDINATE THE OPERATION.
- c. PRIOR TO CONSTRUCTION, ADVANCE NOTIFICATION OF ALL AFFECTED RESIDENTS AND EMERGENCY SERVICES SHALL BE MADE REGARDING ONE-WAY OPERATION, SPECIFYING DATES AND HOURS OF OPERATION.
- HAULING OF SOIL: HAULING OF SOIL ON OR OFF-SITE SHALL NOT OCCUR DURING THE MORNING OR EVENING PEAK PERIODS (BETWEEN 7:00 A.M. AND 9:00 A.M. AND BETWEEN 4:00 P.M. AND 6:00 P.M.). PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE DEVELOPER SHALL WORK WITH THE TOWN BUILDING AND ENGINEERING DEPARTMENT ENGINEERING INSPECTORS TO DEVISE A TRAFFIC CONTROL PLAN TO ENSURE SAFE AND EFFICIENT TRAFFIC FLOW UNDER PERIODS WHEN SOIL IS HAULED ON OR OFF THE PROJECT SITE. THIS MAY INCLUDE, BUT IS NOT LIMITED TO PROVISIONS FOR THE DEVELOPER/OWNER TO PLACE CONSTRUCTION NOTIFICATION SIGNS NOTING THE DATES AND TIME OF CONSTRUCTION AND HAULING ACTIVITIES, OR PROVIDING ADDITIONAL TRAFFIC CONTROL. COORDINATION WITH OTHER SIGNIFICANT PROJECTS IN THE AREA MAY ALSO BE REQUIRED. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE DEBRIS.
- CONSTRUCTION NOISE: BETWEEN THE HOURS OF 8:00 A.M. TO 8:00 P.M., WEEKDAYS AND 9:00 A.M. TO 7:00 P.M. WEEKENDS AND HOLIDAYS, CONSTRUCTION, ALTERATION OR REPAIR ACTIVITIES SHALL BE ALLOWED. NO INDIVIDUAL PIECE OF EQUIPMENT SHALL PRODUCE A NOISE LEVEL EXCEEDING EIGHTY-FIVE (85) DBA AT TWENTY-FIVE (25) FEET IF THE DEVICE IS LOCATED WITHIN A STRUCTURE ON THE PROPERTY, THE MEASUREMENT SHALL BE MADE AT DISTANCES AS CLOSE TO TWENTY-FIVE (25) FEET FROM THE DEVICE AS POSSIBLE. THE NOISE LEVEL AT ANY POINT OUTSIDE OF THE PROPERTY PLANE SHALL NOT EXCEED EIGHTY-FIVE (85) DBA.
- SILT AND MUD IN PUBLIC RIGHT-OF-WAY: IT IS THE RESPONSIBILITY OF CONTRACTOR AND HOME OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING: GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. DIRT AND DEBRIS SHALL NOT BE WASHED INTO STORM DRAINAGE FACILITIES. THE STORING OF GOODS AND MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PENNIT IS ISSUED. THE DEVELOPER'S REPRESENTATIVE IN CHARGE SHALL BE AT THE JOB SITE DURING ALL WORKING HOURS. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- PRIOR TO REQUESTING A FOUNDATION INSPECTION BY CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH STATE THE FOLLOWING :
- a. THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT SPECIFICATIONS.
- b. THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIAL, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLAN.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLAN, SPECIFICATIONS, AND INVESTIGATION.

LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	BENCHMARK
AC	ASPHALT CONCRETE	BOUNDARY
BSL	BUILDING SETBACK LINE	INLET (9" SQUARE GRATE-- NDS #999)
BW	BOTTOM OF WALL/BACK OF WALK	COBBLE ROCK ENERGY DISSIPATOR
CED	COBBLE ROCK ENERGY DISSIPATOR	CONCRETE
CG	CURB & GUTTER CENTERLINE	CONTOUR: EXISTING
C	SANITARY SEWER CLEANOUT	CONTOUR: PROPOSED OR NEW
CO	CONCRETE	DESIGN GRADE
CSD	COUNTY STANDARD DETAIL	DOWNSPOUT WITH SPLASHBLOCK
DE	DRAINAGE EMITTER	DIVERSION VALVE
DI	DRAINAGE INLET	BACKWATER VALVE (SEE PROJECT NOTES)
DOC	DOCUMENT	DRAINAGE SWALE
DS	DOWNSPOUT	EASEMENT LINE
DWY	DRIVEWAY	EXISTING ELEVATION
EA	EASEMENT	EXISTING FENCE
ELEV	ELEVATION	EXISTING TREE TO BE REMOVED
EM	ELECTRIC METER	EXISTING TREE TO REMAIN
E(OH)	ELECTRIC OVERHEAD	FOUND IRON PIPE AT PROPERTY CORNER
E(UG)	ELECTRIC UNDERGROUND	AT PROPERTY CORNER
EP	EDGE OF PAVEMENT	FILTER FABRIC ROLLS
EX	EXISTING	GAS METER
FD	FOUND	GRADE TO DRAIN
FG	FINISH ELEVATION OF SUBFLOOR	FIRE HYDRANT
FS	GROUND FINISH GRADE	JOINT POLE
FH	FIRE HYDRANT	LIGHTING POLE
FL	FLOW LINE	MAIL BOX
G	GARAGE SLAB ELEVATION/GAS LINE	MONUMENT WELL
GM	GAS METER	OVERLAND FLOW DIRECTION
HI PT	HI POINT	PCE BOX
INV	INVERT	PROJECT SITE
LS	LANDSCAPED AREA	RETAINING WALL
MAX	MAXIMUM	RIGHT OF WAY
MH	MANHOLE	SANITARY SEWER
MIN	MINIMUM	CLEAN OUT MANHOLE
NTS	NOT TO SCALE	SANITARY SEWER/LATERAL
OH	OVERHEAD	STATION
OG	ORIGINAL GROUND	STANDARD CITY DETAIL
P	PAD ELEVATION	SIDEWALK
PP	POWER POLE PROP PROPOSED	SW
PSE	PUBLIC SERVICE EASEMENT	TB
PUE	PUBLIC UTILITY EASEMENT	TC
PVM	PAVEMENT	TD
PVC	POLYVINYL CHLORIDE	TED
R	RADIUS	TEMP
RW	RETAINING WALL	TOE
R/W	RIGHT OF WAY	TOE OF BANK
SCSD	SANTA CLARA COUNTY STANDARD DETAIL	TOE OF GRATE
S.C.V.W.D	SANTA CLARA VALLEY STANDARD DETAIL	TOE OF CUT
SD	STORM DRAIN	TOE OF GRATE
SDE	STORM DRAIN EASEMENT	TOE OF GRATE
SE	SLOPE EASEMENT	TOE OF GRATE
SS	SANITARY SEWER/LATERAL	TOE OF GRATE
STA	STATION	TOE OF GRATE
STD	STANDARD CITY DETAIL	TOE OF GRATE
SW	SIDEWALK	TOE OF GRATE
TB	TOP OF BANK	TOE OF GRATE
TC	TOP OF CURB	TOE OF GRATE
TD	TRENCH DRAIN	TOE OF GRATE
TED	TEMPORARY	TOE OF GRATE
TEMP	TEMPORARY	TOE OF GRATE
TOE	TOE OF BANK	TOE OF GRATE
TO	TOP OF GRATE	TOE OF GRATE
TPF	TREE PROTECTION FENCE	TOE OF GRATE
TW	TOP OF WALL	TOE OF GRATE
TYP	TYPICAL	TOE OF GRATE
VG	VALLEY GUTTER	TOE OF GRATE
W	WATER	TOE OF GRATE
WLK	WALKWAY	TOE OF GRATE
WM	WATER METER	TOE OF GRATE
WV	WATER VALVE	TOE OF GRATE

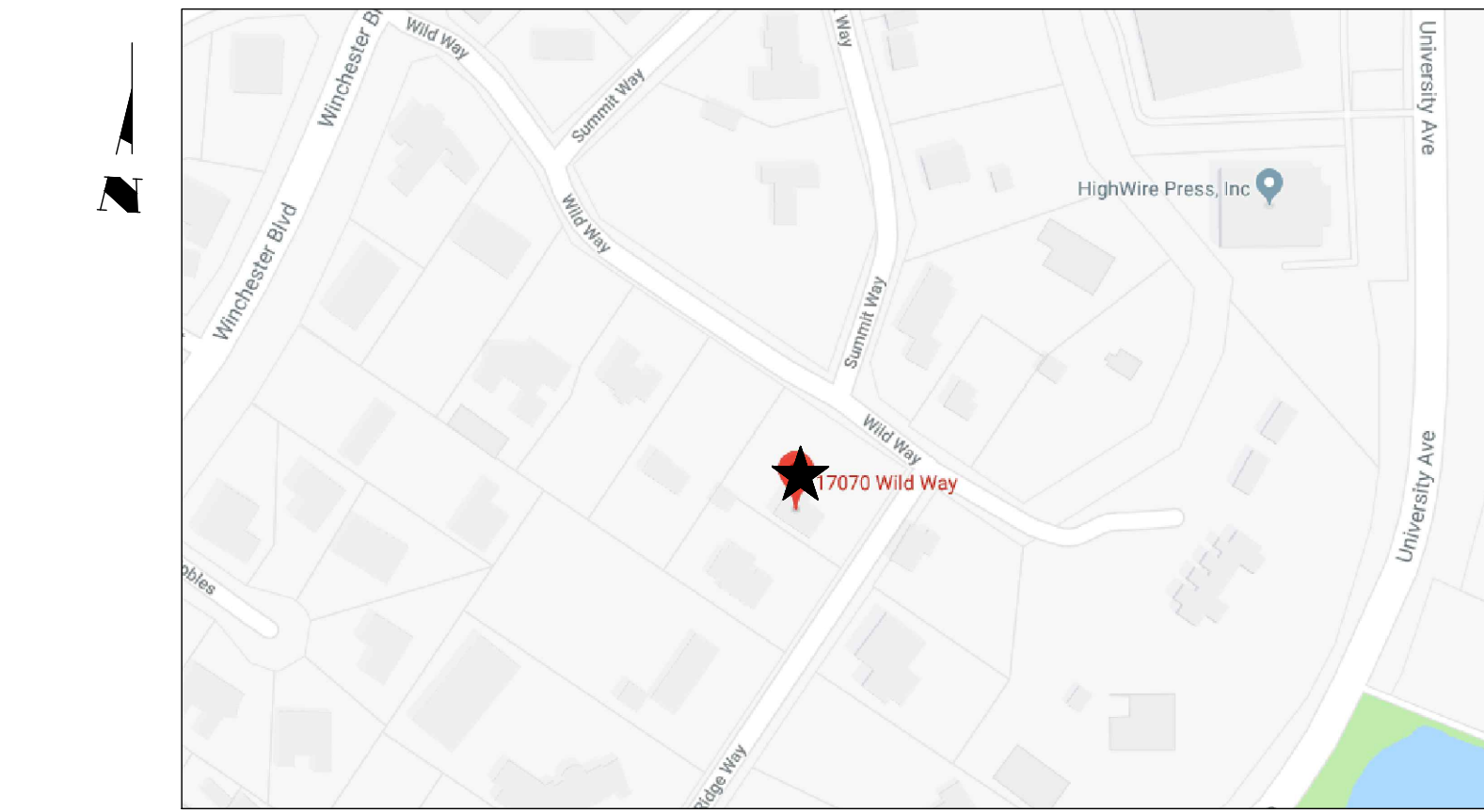
TREES TO BE REMOVED	
ITEM	QUANTITY
8" TREE	2
12" TREE	4
TOTAL	6



FINISH GRADE DETAILS AT BUILDING FOUNDATION

NTS

TABLE OF PROPOSED EARTHWORK QUANTITIES					
AREA DESCRIPTION	CUT (CY)	MAX CUT HEIGHT (SF)	FILL (CY)	MAX FILL DEPTH (SF)	IMPORT/EXPORT (CY)
HOUSE FOOTPRINT	—	—	0	0	—
CELLAR	—	—	0	0	—
ATTACHED GARAGE	19	—0.5	0	0	—19
DRIVEWAY / ACCESS	50	2	0	0	—50
LANDSCAPE / OUTDOOR	192	—1	37	1	—155
TOTAL	261		37		—224



VICINITY MAP

NTS

BASIS OF BEARINGS

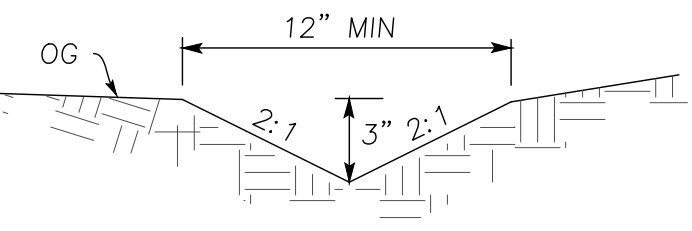
THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF WILD WAY AS FOUND MONUMENTED AS N55°57'50"W SHOWN ON RECORD OF SURVEY, RECORDED IN BOOK 857 OF MAPS, AT PAGE 12, SANTA CLARA COUNTY RECORDS.

BENCHMARK

MAG NAIL
ELEV = 375.75'

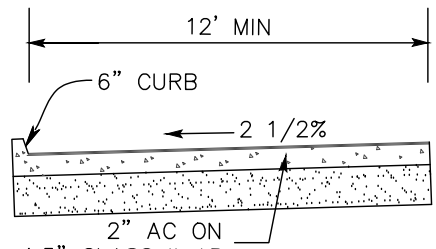
SCOPE OF WORK

1. GRADE DRIVEWAY & HOUSE SITE
2. PAVE DRIVEWAY & WALKWAY
3. SEED/LANDSCAPE ALL DISTURBED AREAS



TYPICAL SWALE SECTION

NTS



TYPICAL DRIVEWAY SECTION

NOTES:

1. **APN NUMBER:** APN 424-30-025
2. **LOT SIZE:** 0.48 ACRES MORE OR LESS
3. **OWNER:**
BALA RANGABASHYAM
17070 WILD WAY
LOS GATOS, CA 95030
4. **SURVEYOR:**
TOM H. MILO, LS 6438
2250 BOHANNON DRIVE
SANTA CLARA, CA 95050
TEL: (408) 615-8855
6. **CIVIL ENGINEER:**
LC ENGINEERING
598 E. SANTA CLARA ST, #270
SAN JOSE, CA 95112
TEL: (408) 806-7187

AVERAGE SLOPE CALCULATION

$$S = \frac{0.0023 \times (1) \times (L)}{A}$$

WHERE

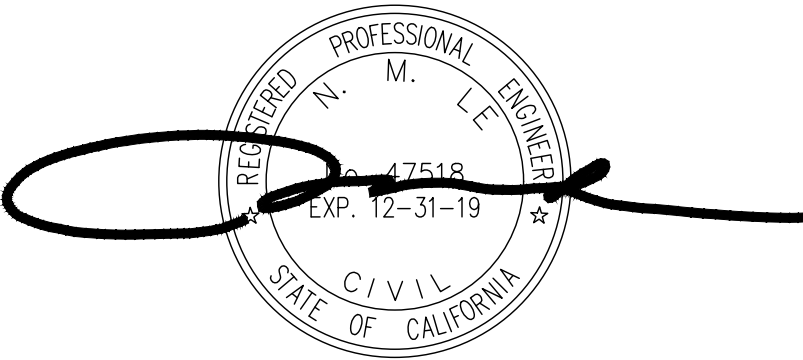
S = AVERAGE SLOPE OF THE AREA IN PERCENT
I = CONTOUR INTERVAL
L = TOTAL LENGTH OF CONTOUR LINES IN FEET
A = AREA EXPRESSED IN ACERS

$$S = \frac{0.0023 \times (1) \times (1,265)}{0.48} = 6.1\%$$

SHEET INDEX

SHEET No. SHEET NAME

- C1 COVER SHEET
C2 DEMOLITION
C3 GRADING AND DRAINAGE PLAN
C4 DRIVEWAY PLAN & BUILDING CROSS SECTIONS
C5 EROSION CONTROL PLAN
C6 EROSION CONTROL DETAILS
C7 CONSTRUCTION MANAGEMENT PLAN
C8 BLUEPRINT FOR A CLEAN BAY



LC ENGINEERING

598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

TITLE SHEET

LANDS OF BALAKRISHNAN
17070 WILD WAY
APN 424-30-025

California

DRAWING NO. C1

SHT NO. 1

FILE NO. 1

PROJECT NO.

CONTRACT NO.

Los Gatos

DESIGNED DATE 04/15/2019

DATE 04/15/2019

SCALE AS NOTED

SCALE

CHECKED DATE 04/15/2019

DATE

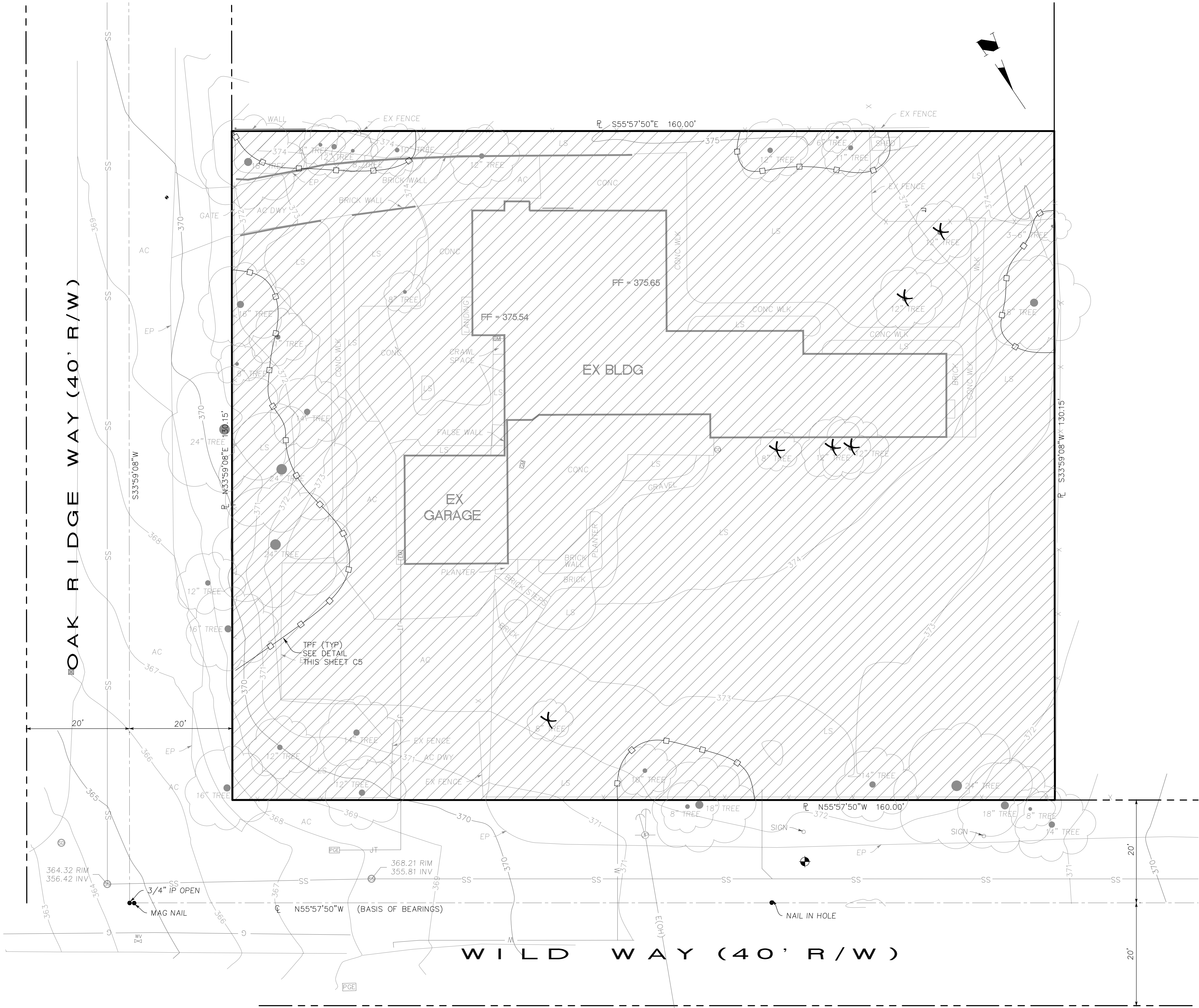
BY

DATE

APPD

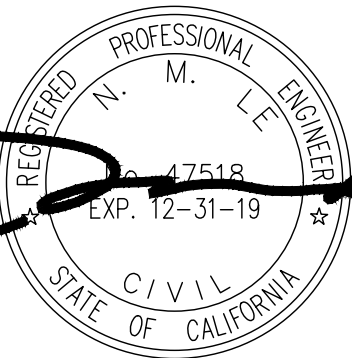
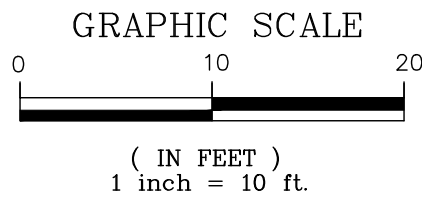
REVISIONS

NO.



NOTES :

REMOVE ALL EXISTING IMPROVEMENTS
WITHIN THE PROPERTY LIMITS



APPLICANT : BALAKRISHNAN

ROAD NAME : WILD WAY

FILE NO. : ----

ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

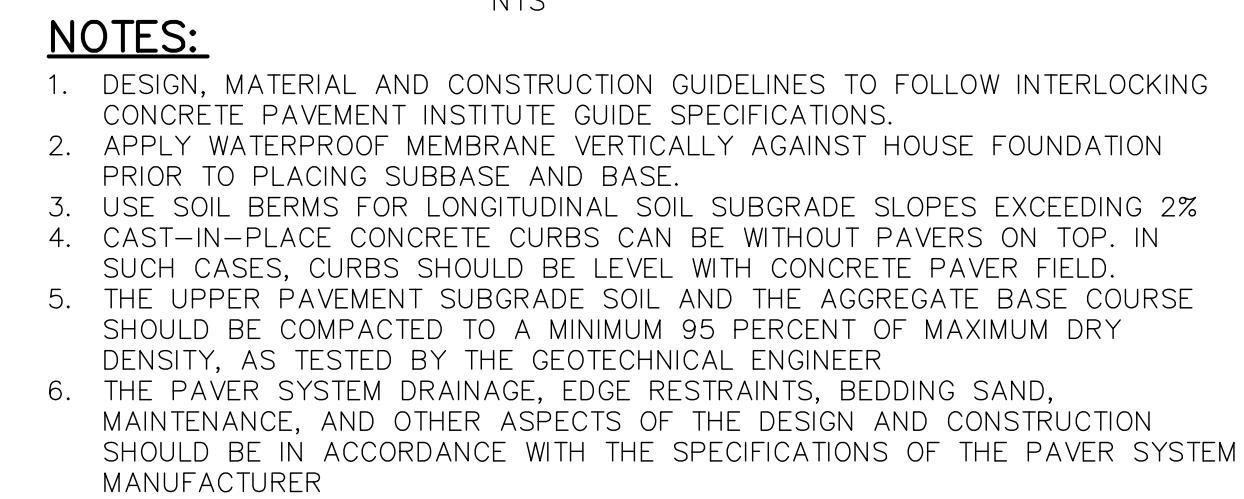
DEMOLITION PLAN
LANDS OF BALAKRISHNAN
17070 WILD WAY
APN 424-30-025

Los Gatos

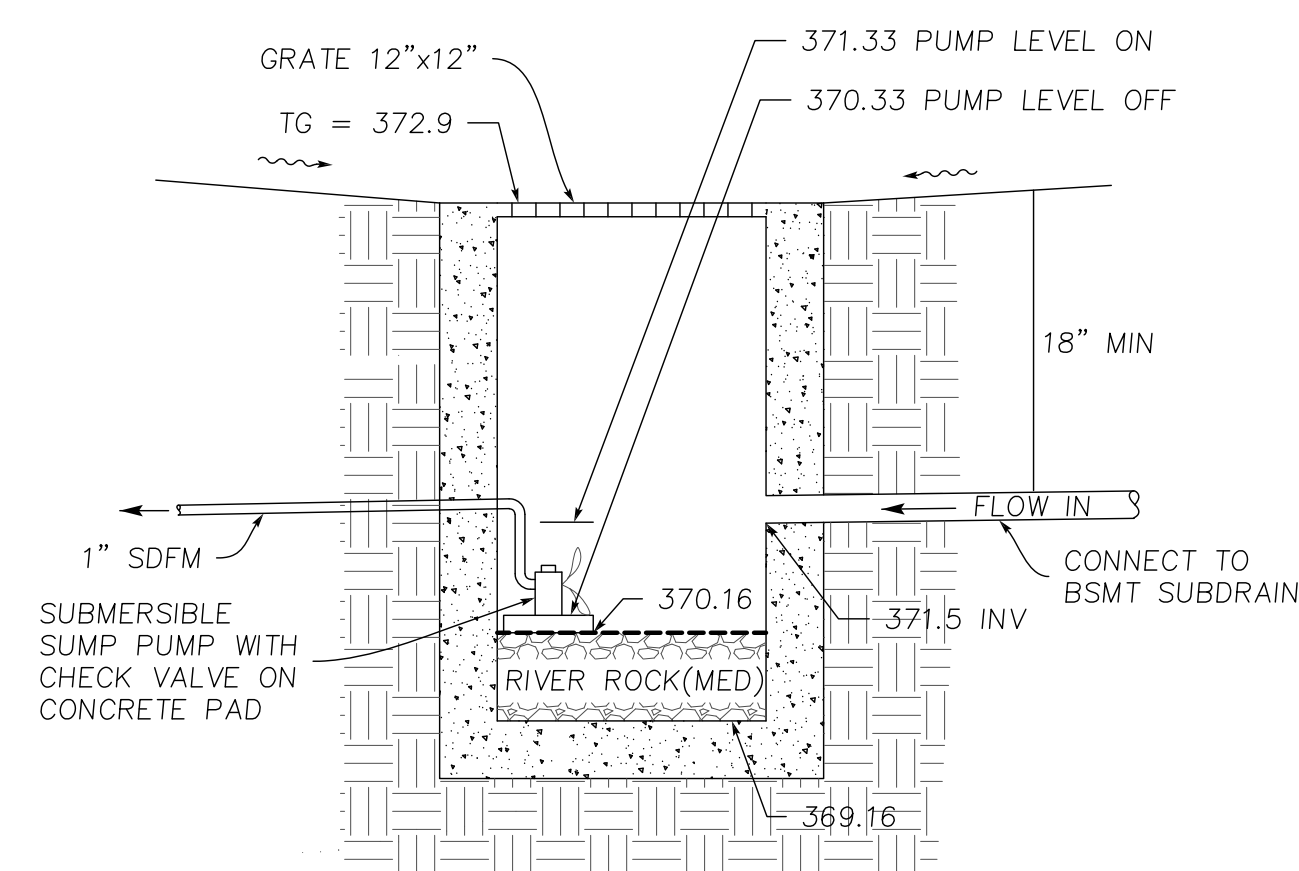
California

DESIGNED	04/15/2019	DATE	DATE	DATE	DATE
PT	04/15/2019	DATE	DATE	DATE	DATE
DRAWN	SCALE AS NOTED	SCALE	SCALE	SCALE	SCALE
CHECKED	04/15/2019	DATE	DATE	DATE	DATE
BY	DATE	DATE	DATE	DATE	DATE
REVISIONS	DATE	DATE	DATE	DATE	DATE

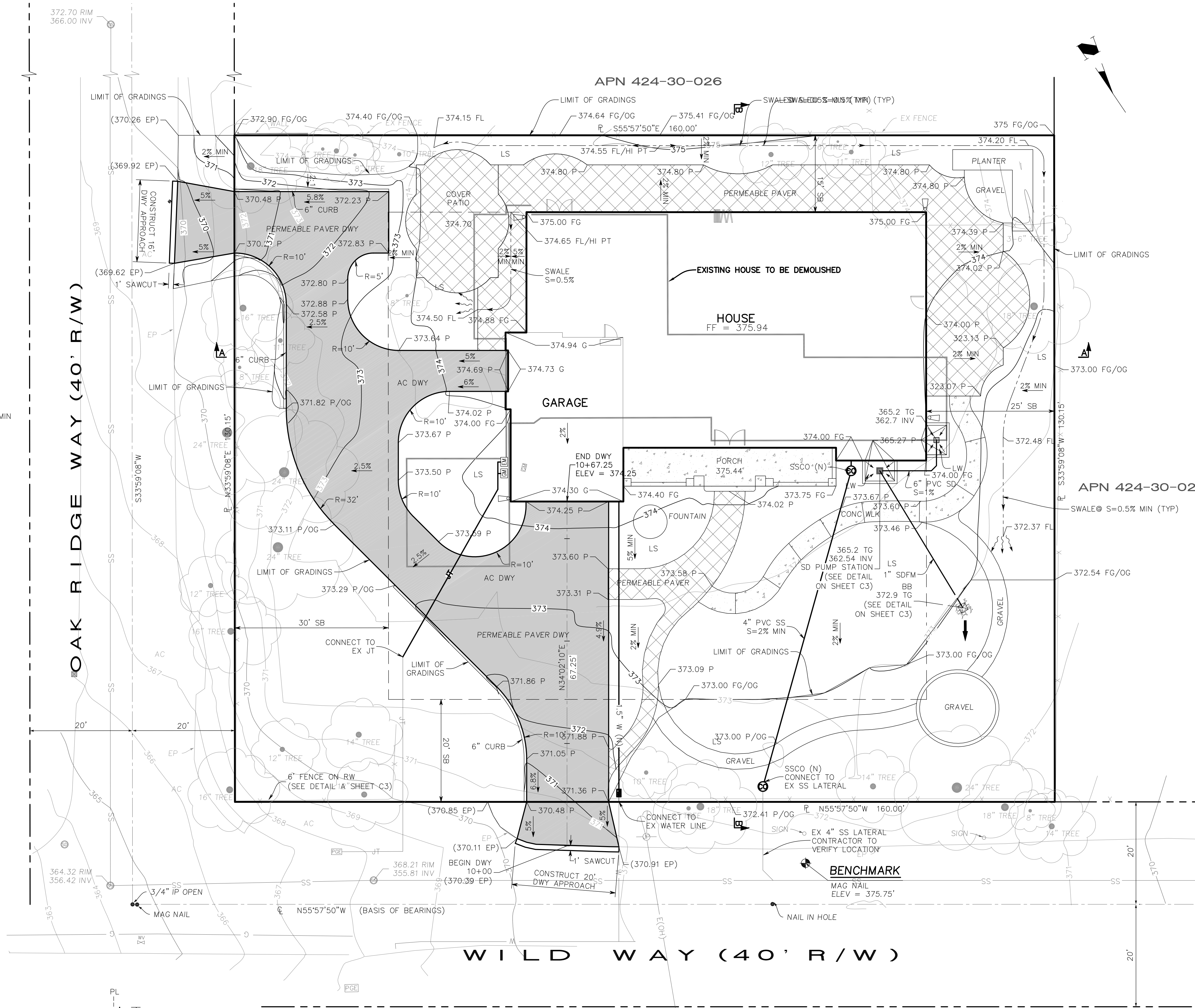
DRAWING NO.	C2
FILE NO.	2 OF 8
CONTRACT NO.	PROJECT NO.



- NOTE:**
1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP
 2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
 3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
 4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
 5. BOX MUST BE LOCATE AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MINIMUM AWAY FROM SIDE AND REAR PROPERTY LINES, APPROPRIATELY LOCATED IN SWALE, VEGETATED OR RETENTION AREA.

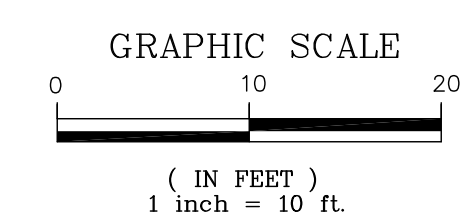


SD SUMP PUMP STATION




DETAIL A
NTS

- NOTES :**
1. UTILITY JOINT TRENCH INCLUDE GAS, ELECTRIC, TV, CABLE AND TELEPHONE



DRAWING NO. 3		GRADING AND DRAINAGE PLAN LANDS OF BALAKRISHNAN 17070 WILD WAY APN 424-30-025		Los Gatos California	
SHEET NO. 3 OF 8		CONTRACT NO.		PROJECT NO.	
FILE NO.					



ENGINEERING
 598 E Santa Clara St #270
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

08	DESIGNED	04/15/2019					
	DATE						
	PT	04/15/2019					
	DRAWN						
	DATE						
	1"=10'						
	SCALE						
	ML						
	CHECKED	04/15/2019					
	DATE		BY	DATE	APPR'D	REVISIONS	NO.

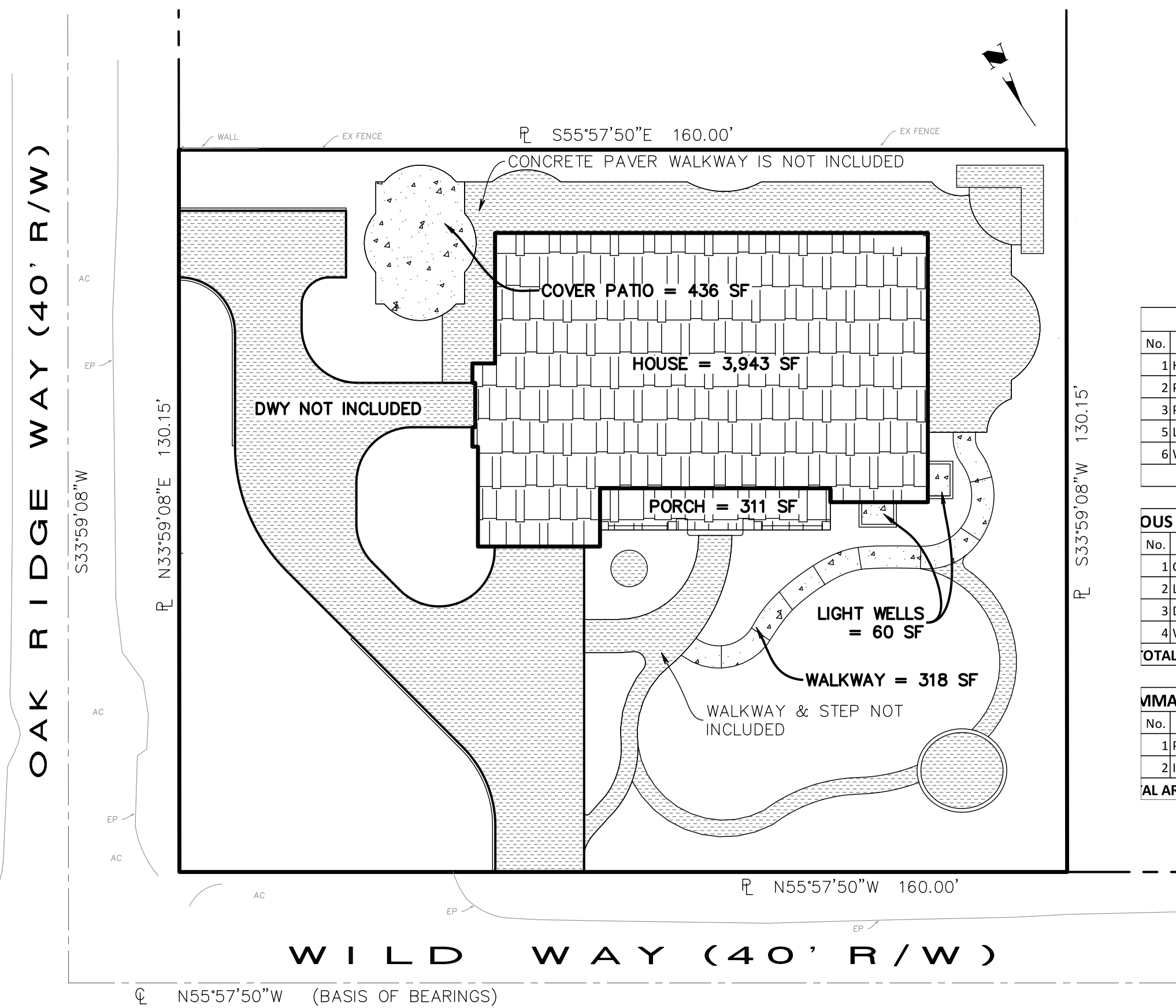
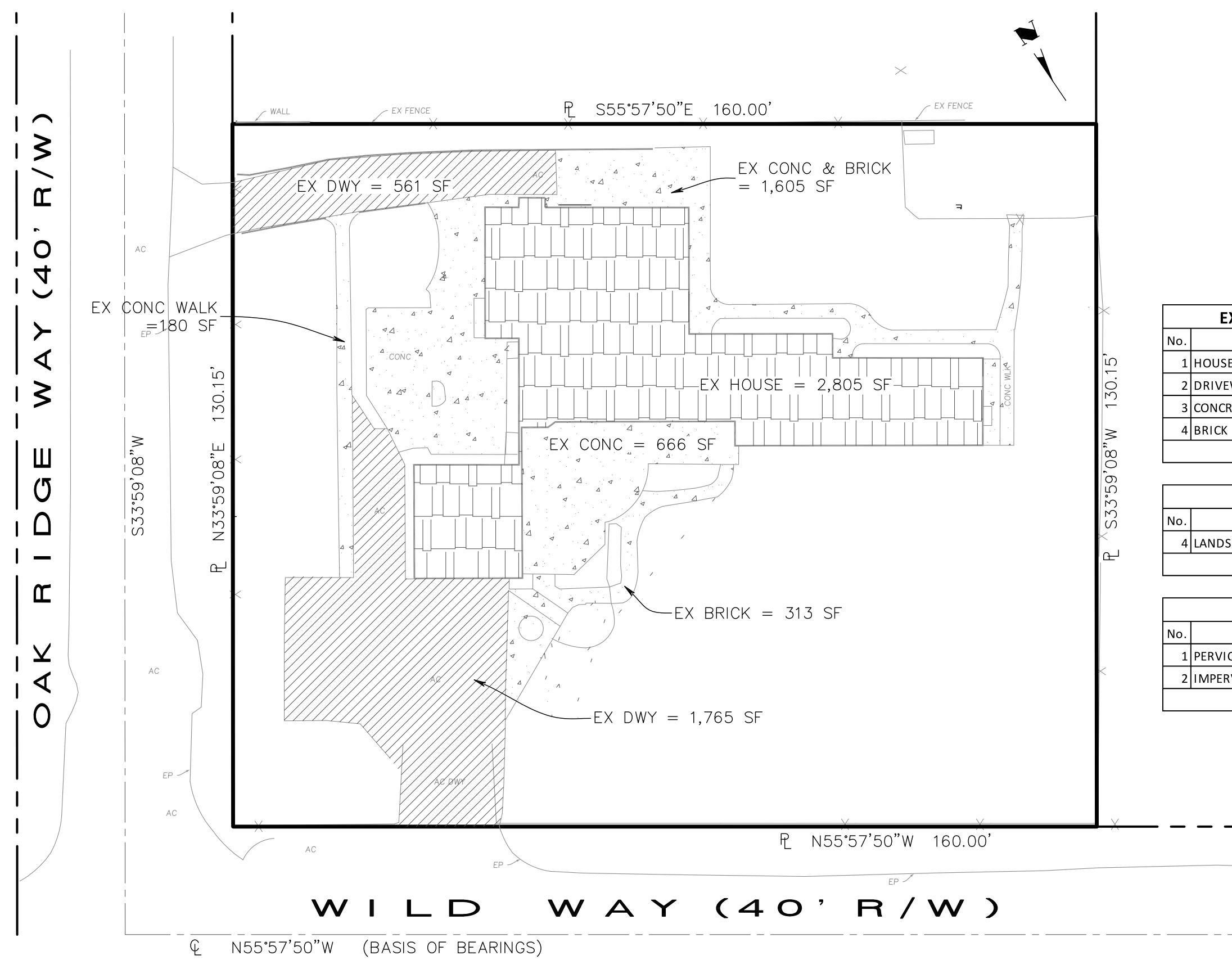
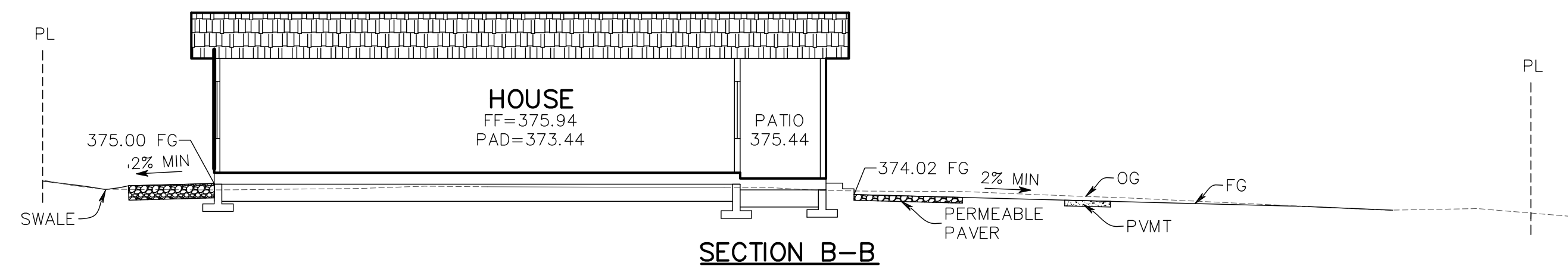
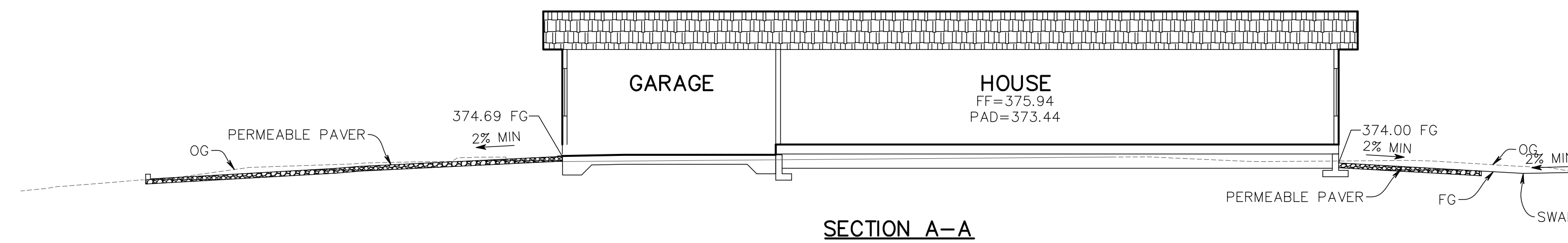
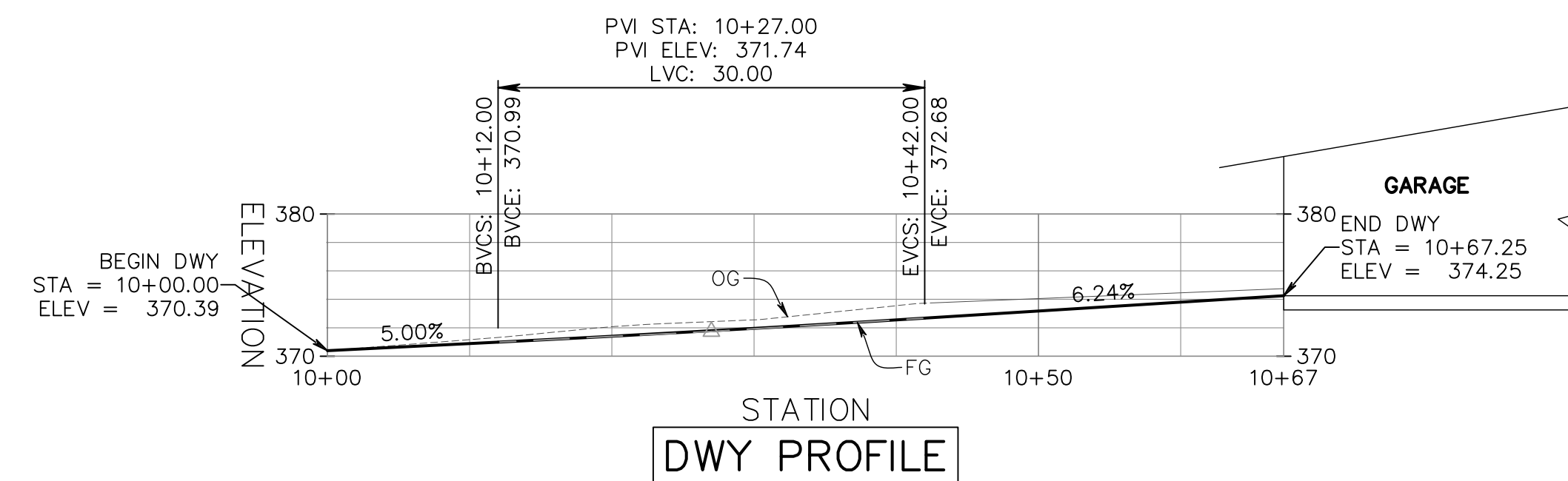
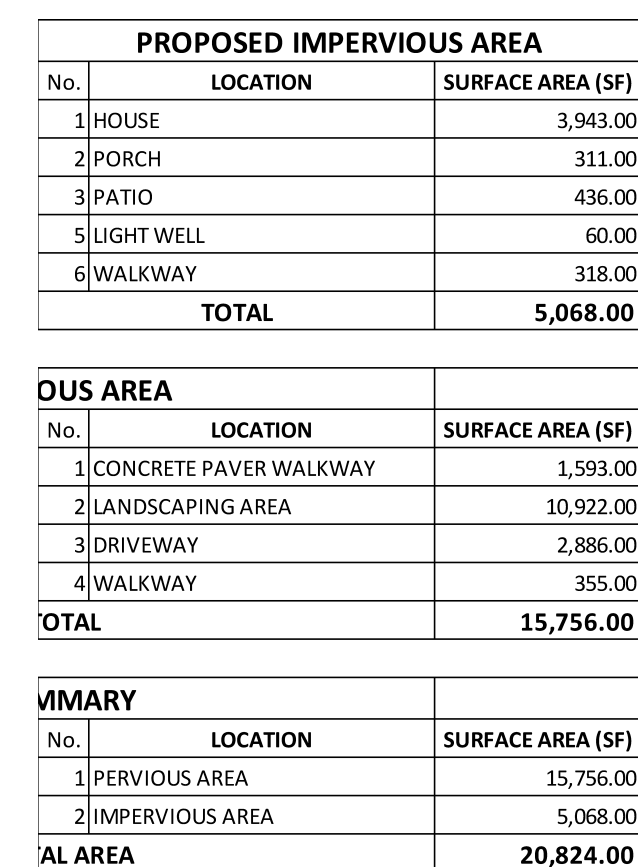
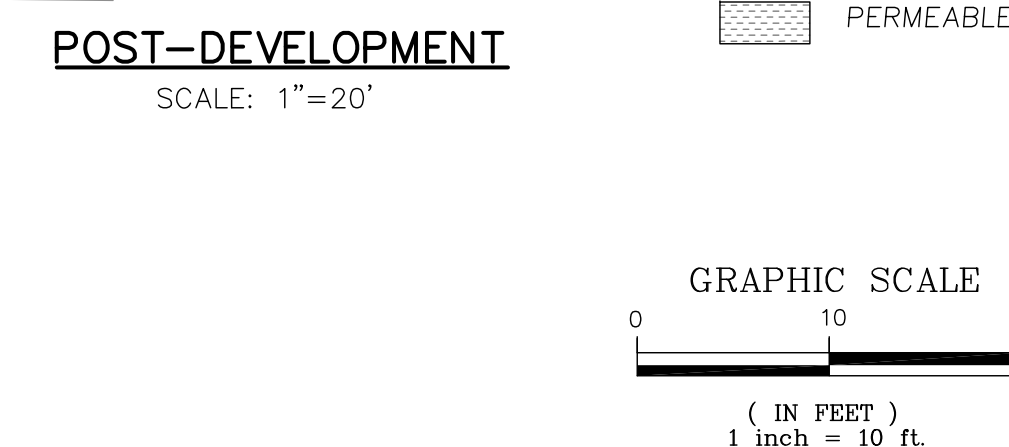
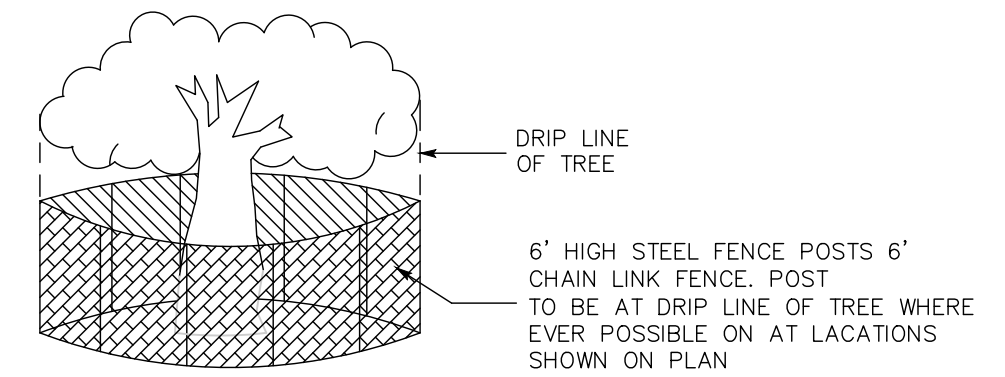


TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS				
TOTAL SITE AREA: 20,824 SF		TOTAL SITE AREA DISTURBED: 15,487 SF (INCLUDING CLEARING, GRADING OR EXCAVATING)		
	EXISTING AREA (SF)	PROPOSED AREA (SF)		TOTAL AREA POST-PROJECT (SF)
		REPLACED	NEW	
IMPERVIOUS AREA	7,945	5,068	0	5,068
TOTAL NEW & REPLACED IMPERVIOUS AREA		5,068		
PERVIOUS AREA	12,879	12,879	2,877	15,756





NTS

1. SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS SHALL BE DRIVEN INTO THE GROUND AT LEAST TWO-FOOT DEEP AT NO MORE THAN TEN-FOOT SPACING. WHEN STIPULATED, FOR EXISTING PAVING AREAS THAT WILL NOT BE DEMOLISHED, POSTS MAY BE SUPPORTED BY CONCRETE BASE.
2. POSTED SIGN AND ONE-AND-ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025"
3. LABELED PHOTOGRAPHS OF THE INSTALLED FENCING SHALL BE EMAILED TO THE PROJECT PLANNER PRIOR TO ISSUANCE OF PERMITS.
4. TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

ANY PROTECTED TREE ON-SITE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.

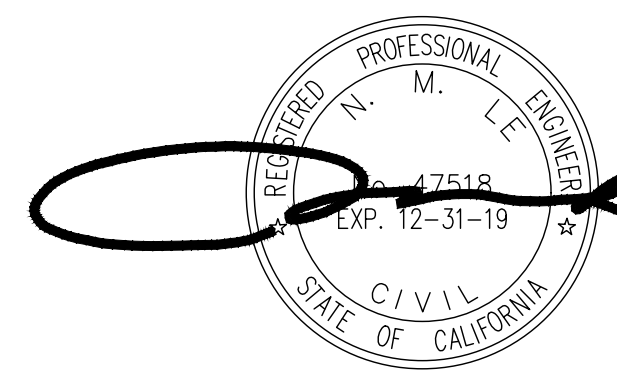
Q8	DESIGNED	04/15/2019
PT	DATE	04/15/2019
DRAWN	DATE	
1"=10'		
SCALE		
NL		04/15/2019
CHECKED	DATE	

598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

California

Los Gatos

FILE NO. : ———



CONTRACTOR/OWNER: BALA RANGABASHYAM
ADDRESS: 17070 WILD WAY, LOS GATOS, CA 95030
PHONE NUMBER: (415) 595-3458

IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.

2. CIVIL ENGINEER: LC ENGINEERING 598 E SANTA CLARA ST, SUITE #270,
SAN JOSE, CA 95112.
(408) 806-7187

3. CONTRACTOR: BALA RANGABASHYAM
ADDRESS: 17070 WILD WAY, LOS GATOS, CA 95030
24-HOUR PHONE NUMBER: (415) 595-3458
CONSTRUCTION SUPERINTENDENT: BALA RANGABASHYAM
ADDRESS: 17070 WILD WAY, LOS GATOS, CA 95030
24-HOUR PHONE NUMBER: (415) 595-3458

4. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.

5. DEVELOPER WILL SUBMIT TO THE COUNTY/CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 1ST AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE COUNTY/CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.

6. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.

7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.

8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

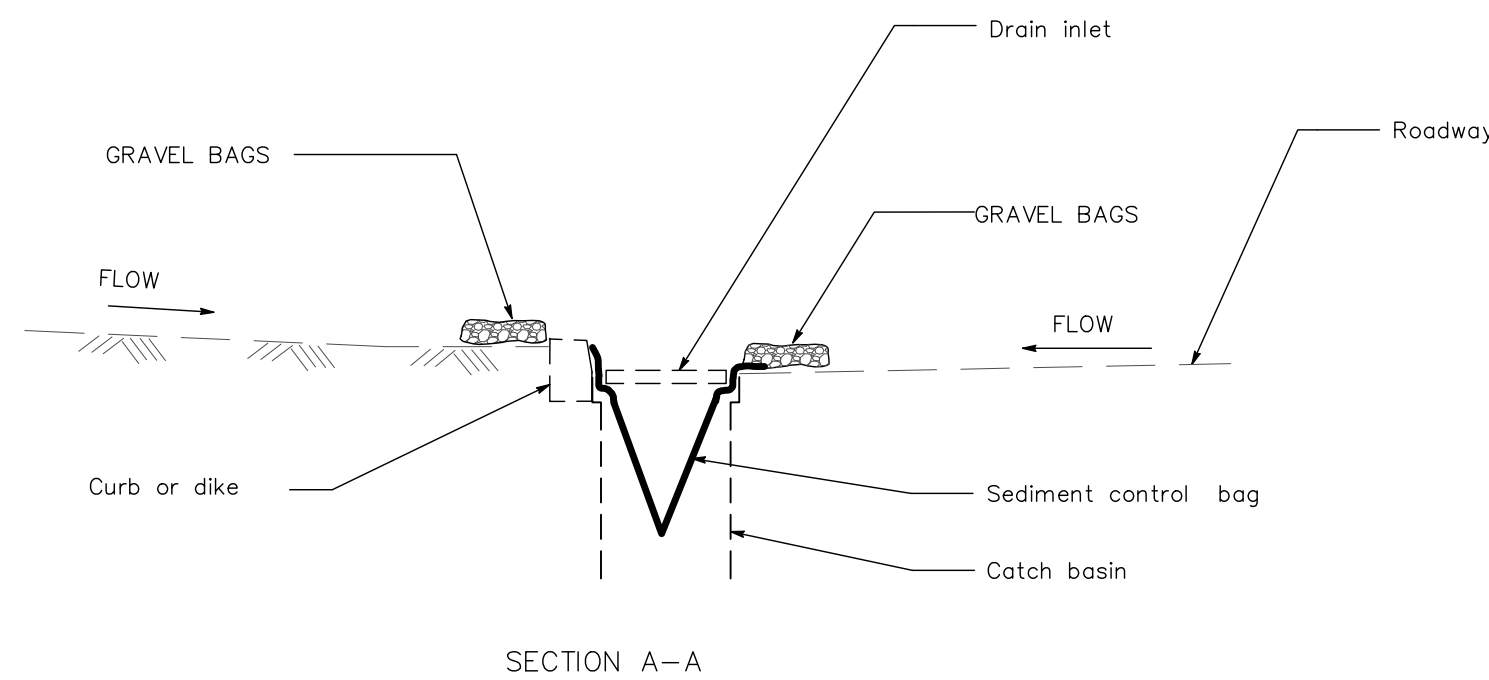
9. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.

10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.

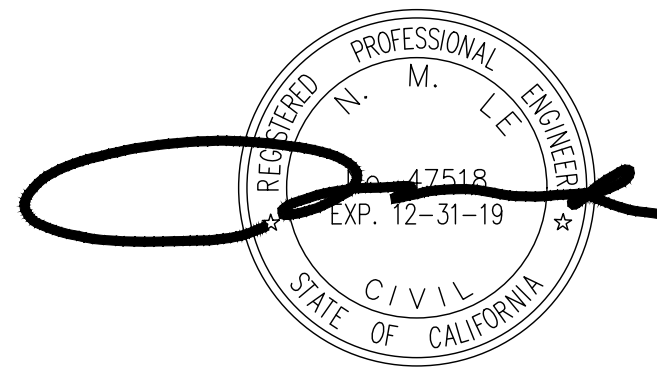
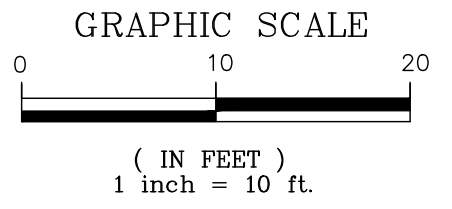
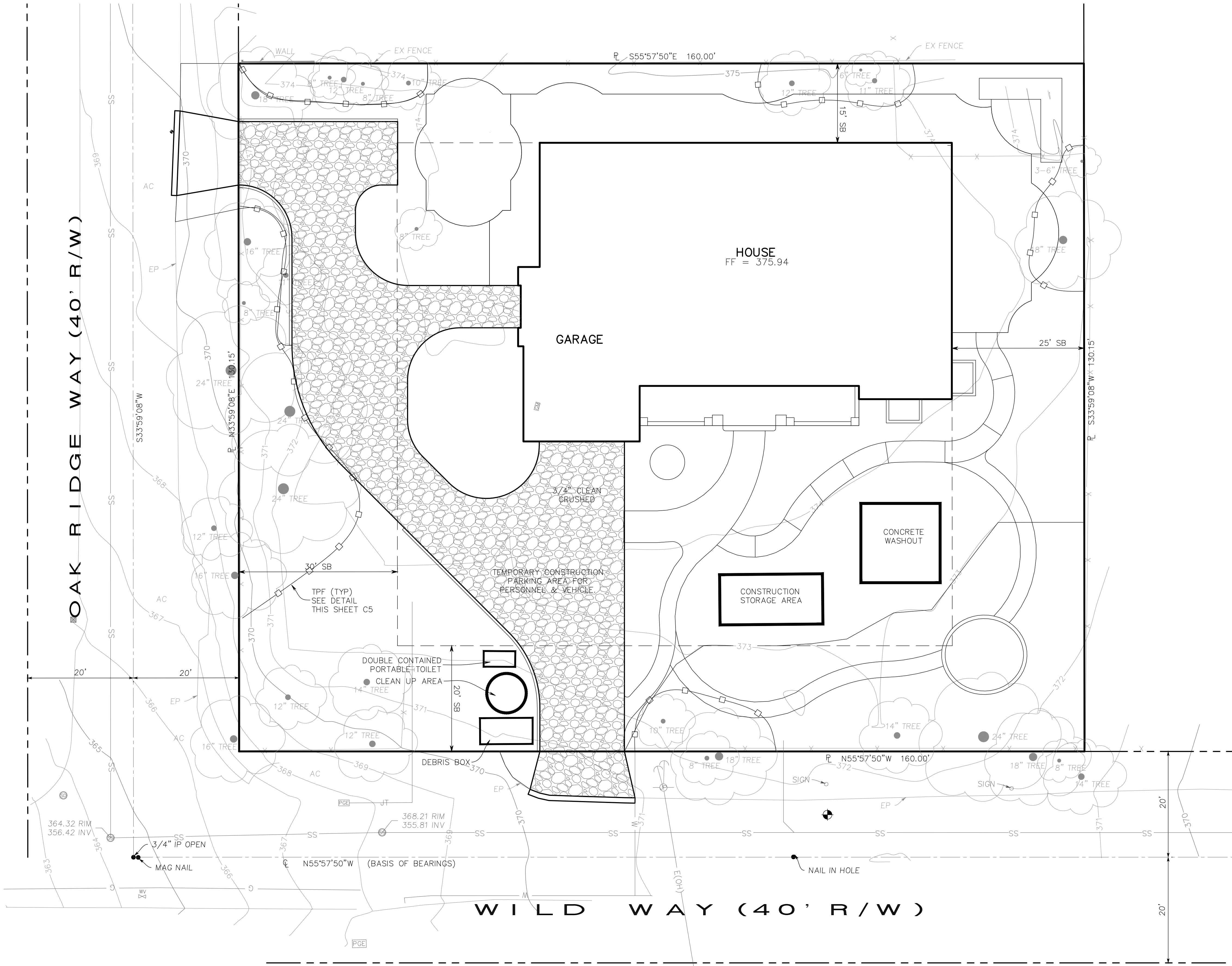
11. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE COUNTY/CITY ENGINEER. PLANS RESUBMITTED FOR THE COUNTY/CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL ARE TO BESITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY/CITY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALL PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING onto the PAVED ROADS MUST CROSS the STABILIZED CONSTRUCTION ENTRANCEWAYS.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY/CITY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TRICKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITION, VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE REPRESENTATIVE OF ANY FIELD CHANGES.
9. GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF COUNTY/CITY.

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND FOLLIES MUST BE REPAIRED.
2. SAND BAD INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.
3. EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LB. OF ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOLIDS FOR EACH 100 GALLONS OF WATER.



DRAWING NO.		EROSION CONTROL DETAILS LANDS OF BALAKRISHNAN 17070 WILD WAY APN 424-30-025		Los Gatos California	
C 6					
SHT NO.	6	OF	8	CONTRACT NO.	PROJECT NO.
FILE NO.					



APPLICANT : BALAKRISHNAN

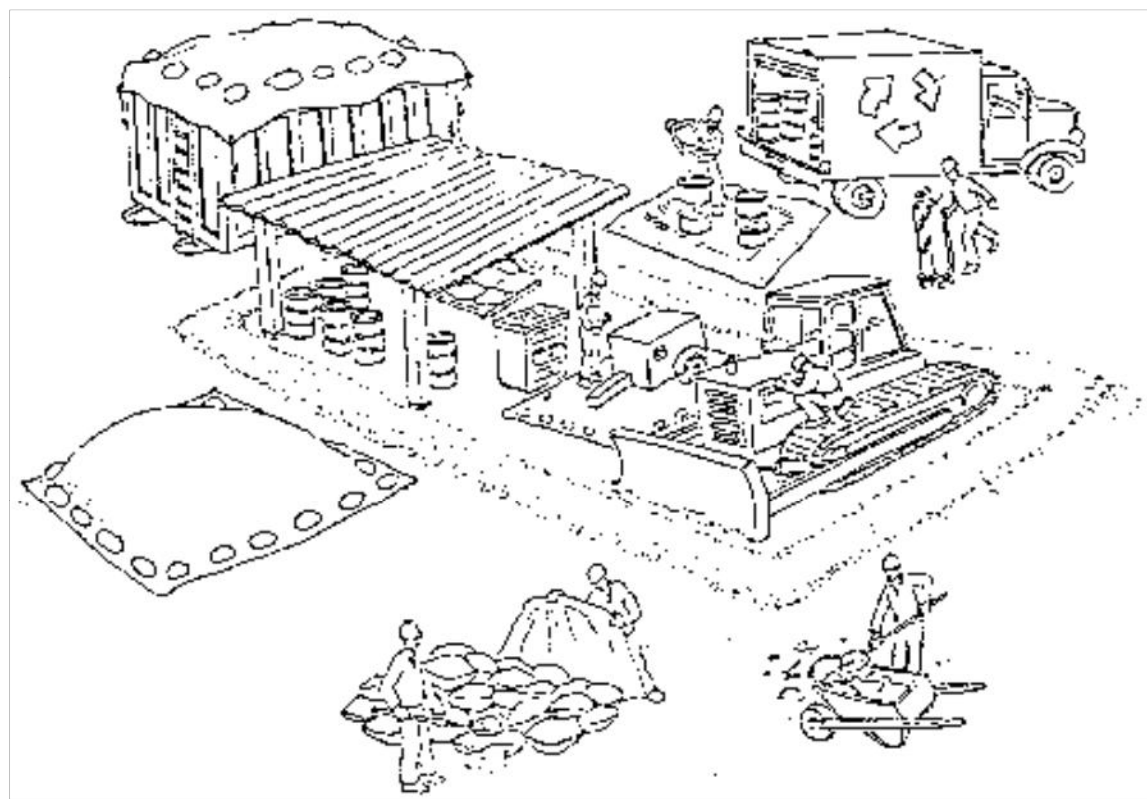
ROAD NAME : WILD WAY

FILE NO. : ----

DRAWING NO. C7	CONSTRUCTION MANAGEMENT PLAN LANDS OF BALAKRISHNAN 17070 WILD WAY APN 424-30-025				Los Gatos CONTRACT NO. _____ PROJECT NO. _____				California			
	SHT NO. 7	OF 8	FILE NO.		REVISIONS		DATE	BY	DATE	APP'D	NO.	
DESIGNED PT		DATE 04/15/2019		DRAWN SCALE 1"=10'		DATE 04/15/2019		CHECKED NL		DATE 04/15/2019		

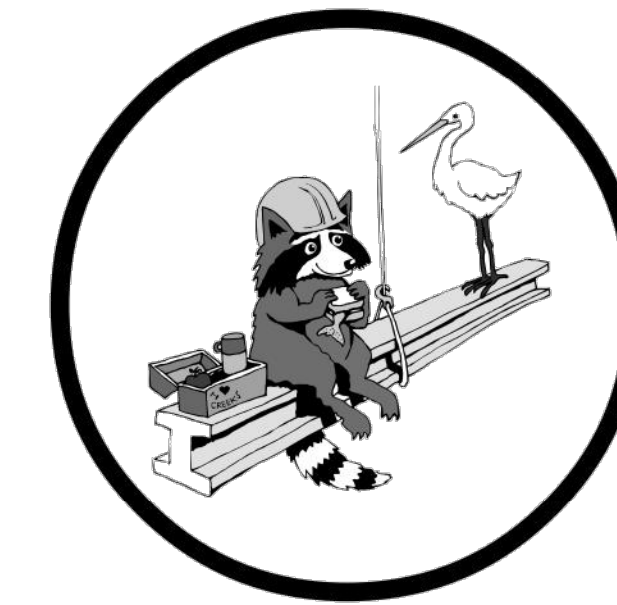
ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✔ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✔ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✔ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✔ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✔ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✔ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✔ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations


- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting


- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- 
- ✓ Do not pave during wet weather or when rain is forecast.
 - ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
 - ✓ Place drip pans or absorbent material under paving equipment when not in use.
 - ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
 - ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



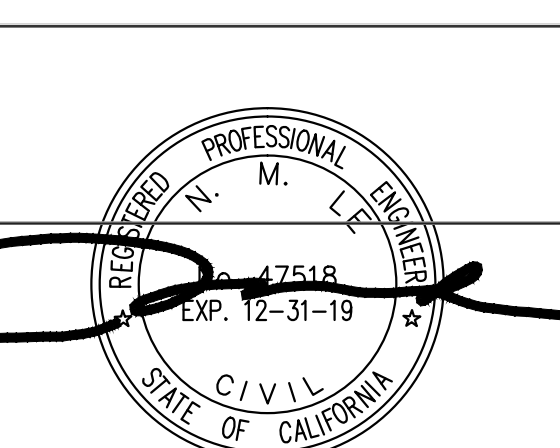
Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
 - ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
 - ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
 - ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.
- 



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



B A S M A A Bay Area Stormwater Management
Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!

ENGINEERING

598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006



BLUEPRINT FOR A CLEAN BAY LANDS OF BALAKRISHNAN 17070 WILD WAY APN 424-30-025	PROJECT NO.
California	

DRAWING NO. C8

SHEET NO. 8 OF 8

FILE NO.

APPLICANT : BALAKRISHNAN

ROAD NAME : WILD WAY

FILE NO. : ———



[illegible]GreenPoint Rated New Home Single Family Checklist Version 6.0

SHEET NO.

GB-1